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PLANNING COMMITTEE

Tuesday, 20th June, 2023 at 7.00 pm
Conference Room, Civic Centre, Silver
Street, Enfield, EN1 3XA

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MEMBERS

Councillors: Sinan Boztas (Chair), Bektas Ozer (Vice-Chair), Kate Anolue, Mahym Bedekova, Lee Chamberlain, Peter Fallart, Thomas Fawns, Ahmet Hasan, Michael Rye OBE, Jim Steven, Doug Taylor and Eylem Yuruk

N.B. Involved parties may request to make a deputation to the Committee by contacting Democracy@enfield.gov.uk before 10am on the meeting date latest

AGENDA – PART 1

1. WELCOME AND APOLOGIES

2. DECLARATIONS OF INTEREST

To receive any declarations of interest.

3. MINUTES OF PREVIOUS MEETING (Pages 1 - 8)

To approve the minutes of the meeting held on Tuesday 23 May 2023 as a true and correct record.

4. REPORT OF THE HEAD OF DEVELOPMENT MANAGEMENT (Pages 9 - 12)

To receive and note the covering report of the Head of Development Management.

5. **23/00294/FUL - 1-44 AVALON CLOSE, ENFIELD, EN2 8LR** (Pages 13 - 48)

This Item has now been withdrawn and will not be considered at this Committee Meeting.

6. **22/01969/HOU - 11 PARK NOOK GARDENS ENFIELD EN2 0HT** (Pages 49 - 60)

RECOMMENDATION:

- 1) That the Head of Development Management be authorised to GRANT planning permission subject to conditions.
- 2) That the Head of Development Management be granted delegated authority to agree the final wording of the conditions to cover the matters in the Recommendation section of this report.

WARD: Whitewebbs

7. **22/02248/FUL - 24-26 CHURCHBURY LANE, ENFIELD, EN1 3TY** (Pages 61 - 90)

RECOMMENDATION:

1. That the Head of Development Management be authorised to GRANT planning permission subject to conditions listed in this report:
2. That the Head of Development Management be granted delegated authority to agree the final wording of the conditions.

WARD: Town

8. **22/02680/FUL - UNITS 1A TO 1B ALEXANDER PLACE, NEW SOUTHGATE INDUSTRIAL ESTATE, LOWER PARK ROAD, LONDON, N11 1QD** (Pages 91 - 130)

RECOMMENDATION:

1. That subject to the completion of a Section 106 Agreement to secure the obligations as set out in the report, the Head of Development Management be authorised to Grant planning permission subject to conditions.
2. That the Head of Development Management be granted delegated authority to agree the final wording of the conditions to cover the matters in the Recommendation section of this report.

WARD: New Southgate

9. **DATE OF FUTURE MEETINGS**

To note that the dates of future meetings are as follows:

Tuesday 4th July 2023 (provisional)
Tuesday 18th July 2023
Tuesday 1st August 2023 (provisional)
Tuesday 29th August 2023 (provisional)
Tuesday 5th September 2023 (provisional)
Tuesday 19th September 2023
Tuesday 17th October 2023
Tuesday 7th November 2023 (provisional)
Tuesday 21st November 2023
Tuesday 19th December 2023
Tuesday 9th January 2024 (provisional)
Tuesday 23rd January 2024
Tuesday 13th February 2024 (provisional)
Tuesday 20th February 2024
Tuesday 5th March 2024 (provisional)
Tuesday 19th March 2024
Tuesday 23rd April 2024

These meetings will commence at 7:00pm and will be held in the Conference Room at the Civic Centre.

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PLANNING COMMITTEE - 23.5.2023

**MINUTES OF THE MEETING OF THE PLANNING COMMITTEE
HELD ON TUESDAY, 23 MAY 2023****COUNCILLORS**

PRESENT Sinan Boztas (Chair), Kate Anolue, Mahym Bedekova, Lee Chamberlain, Peter Fallart, Thomas Fawns, Ahmet Hasan, Michael Rye OBE, Jim Steven, Doug Taylor and Eylem Yuruk.

ABSENT Bektas Ozer (Vice-Chair).

OFFICERS: Brett Leahy (Director of Planning and Growth), Andy Higham (Head of Development Management), Mike Hoyland (Senior Transport Planner), Nicholas Page (Conservation & Heritage Adviser), Ms L Lewis (Senior Planning Officer), Ms A Busia (Planning Officer), John Hood (Legal Representative), and Harry Blake-Herbert (Governance Officer).

Also Attending: Applicant and agent representatives, members of the public, deputies, and officers observing.

1 WELCOME AND APOLOGIES

The Chair welcomed everyone to the meeting.

Apologies for absence were received from Cllr Bektas Ozer (Vice-Chair).

2 DECLARATIONS OF INTEREST

A declaration of interest was received from Cllr Mahym Bedekova, who disclosed a non-pecuniary interest regarding Application Reference 23/00152/HOU, having used the agent involved. Having sought advice from the legal representative, she would withdraw from the meeting during discussions and voting on the application.

3 MINUTES OF PREVIOUS MEETING

AGREED the minutes of the meeting held on Tuesday 18 April 2023 as a correct record.

4 REPORT OF THE HEAD OF PLANNING

Received the report of the Head of Planning, which was **NOTED**.

The Head of Development Management gave a verbal update regarding a previous Cockfosters Station application, that the lifting of the holding direction from the Department for Levelling Up, Housing and Communities, meant that following the resolution of Planning Committee in January 2022, they were

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now free to issue and grant planning permission subject to the completion and signing of the Section 106 Agreement.

5 22/03892/FUL - 9 PRIVATE ROAD, ENFIELD, EN1 2EL

Ms L Lewis, Senior Planning Officer, introduced the report, highlighting the key aspects of the application.

The officer emphasised, following concerns, that there were not proposals to change the front elevation, except possibly for the garage doors.

A deputation was received from Leila Mann, a Planning Consultant, who spoke on behalf of a local resident, against the officers' recommendation. She asked that the committee follow the analysis of an inspector on a recently dismissed appeal at Hoppers Rd, Winchmore Hill, and refuse the application.

Another deputation was received from Cllr Andy Milne, Grange Park Ward Councillor, who spoke against the officers' recommendation.

The agent, Mr Gavin Henneberry, spoke in response.

Officers responded to comments and questions, including in respect of parking standards. Officers explained that many of the issues raised would be resolved/ secured through conditions. Officers expressed that the application would not result in substantial conservation harm, and cycle storage and EV parking could be accommodated.

In response to Member's queries regarding the rear extension, officers advised that the rear of the house was already staggered at two different levels, and the extension was filling in part of what was already set back; they also confirmed that a condition to incorporate Sustainable Drainage System (SuDS) was in place.

In response to Member's queries regarding refuse, officers advised that the bin store would accommodate 8 bins, with garden waste bins being kept at the rear of the property; and a ramp provided access for collection, as well as wheelchair access. The officer confirmed that there was sufficient amenity space to comply with policy, and the front elevation would not be changing, with the potential exception of the garage doors.

In response to Member's queries regarding ventilation, officers advised that a condition had been attached, and it was possible to achieve suitable ventilation without affecting the front external appearance of the building; it was also confirmed that the premises was not in a CPZ area.

Members had ongoing concerns with regards to overdevelopment, resident living conditions, ventilation, refuse, accessibility, potential damage to the conservation area, a lack of detail in the report, and parking.

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The Head of Development Management provided advise on potential reasons for refusal.

Cllr Rye proposed a countermotion, that planning permission be refused, on the grounds of: turning a family unit into four units, which is unsustainable; harm to the conservation area in the form of hard standing; and providing units that are compromised in terms of standards, relating to: height, ventilation, and two units having amenity space/ gardens that are not directly accessible. This was seconded by Cllr Chamberlain.

This proposal, having been put to the vote; Members voted:

4 FOR
6 AGAINST
1 ABSTENTION

and so, this countermotion was not passed.

The original officer's recommendation, having been put to the vote; Members voted:

5 FOR
4 AGAINST
2 ABSTENTIONS

and so, it was **AGREED**:

That the Head of Development Management be authorised to **GRANT** planning permission subject to the conditions set out in the report.

6 23/00152/HOU - 65 KINGWELL ROAD, BARNET, EN4 0HZ

The legal representative advised that a declaration of interest had been received from Cllr Mahym Bedekova, who disclosed a non-pecuniary interest, having used the agent involved in the past. Having sought advice from the legal representative, she withdrew from the meeting during discussions and voting on this application.

Ms L Lewis, Senior Planning Officer, introduced the report, highlighting the key aspects of the application.

The officer emphasised, that earlier on in the application process, an outbuilding had been included in the proposals, but had since been withdrawn. The officer added that a further representation had been received earlier that day, raising concerns about the status of the approved development of an additional storey.

The Chair asked that officers provide better, larger scale, coloured diagrams, in the future.

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A deputation was received from Christine Webster, a local resident, who spoke against the officers' recommendation.

Another deputation was received from Cllr Alessandro Georgiou, Cockfosters Ward Councillor, who spoke against the officers' recommendation. Cllr Georgiou asked that Members defer the application, in order to give officers time to review the details of the proposals and address the issues raised, and that if they were not minded to do so, they refuse it altogether.

The agent, Mr Murat Aydemir, spoke in response.

Officers responded to comments and questions, and advised that the application was considered to be in accordance with relevant policies. It was confirmed that officers had not identified any harm that the development would cause, that the new side extension above the garage was offset from the boundary by 1m, and was in keeping with other similar developments in the area.

In response to Member's queries, officers confirmed that the application had been considered in accordance with all the relevant policies, and that the DMDs had been responded to through the report.

The Head of Development Management provided further advice in respect of the upward extension, which was a permitted development. Officers confirmed that the application put forward to committee was all that could be considered. The legal representative confirmed that the upper floor was substantially complete.

The Director of Planning and Growth provided assurance that he was satisfied with the work and conclusions of officers.

The Head of Development Management confirmed that the previous application was included at paragraph 6.2 of the report.

In response to Member's queries, the Head of Development Management provided clarification in respect of the side extension, and considerations in relation to the additional storey.

In response to Member's queries regarding trees, officers advised that the original application included an outbuilding which would result in a loss of trees, but that this had since been withdrawn from the proposal.

In response to Member's queries regarding finishing materials, officers confirmed the condition, in respect of new external work, shall be carried out in materials that resemble as closely as possible the colour and texture of the existing building.

Officers responded to Member's further queries regarding SuDS and the third storey, and confirmed that it was appropriate to consider the scale and mass of the entire building in context of the additional storey.

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Members had ongoing concerns with regards to the building's bulk, scale, mass, and intrusiveness, in relation to the street scene.

The proposal having been put to the vote; Members voted:

6 FOR
4 AGAINST
0 ABSTENTIONS

and so, it was **AGREED**:

That the Head of Development Management be authorised to **GRANT** planning permission subject to the conditions set out in the report.

The Chair adjourned the meeting at 21:03, to give members a rest break, and the meeting resumed at 21:09.

7 23/00271/FUL - 69 LANCASTER AVENUE, ENFIELD EN2 0DW

Cllr Rye made the point that this application referred to a premises located on Lancaster Road, as opposed to Lancaster Avenue, which officers confirmed.

Ms A Busia, Planning Officer, introduced the report, highlighting the key aspects of the application.

In response to Member's queries, the officer confirmed that the timber structure, presently attached to the side of the site was unauthorised; and that by enclosing the space on all sides, they hoped to alleviate disturbance and noise concerns raised by residents, through time restriction conditions.

Officers provided advice in respect of the use of tables and chairs at the front of the premises, and that the side extension would provide a buffering effect to the noise. The officer advised that there was no change of use, and that cooking at the premises was not a permissible activity.

Officers advised that the enclosed extension would help to prevent the unauthorised parking that had been occurring, and they would not expect a significant increase in demand for spaces.

Cllr Taylor asked that the premises be reminded that smoking would not be permissible in the enclosed extension, Cllr Taylor also asked for the premises opening hours, and was advised that these were 9:00am to 8:00pm Monday to Saturday and 9:00am to 5:00pm on Sunday, and that they were also under the control of licensing.

The proposal having been put to the vote; Members voted:

11 FOR
0 AGAINST

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0 ABSTENTIONS

and so, it was **AGREED** unanimously:

That the Head of Development Management be authorised to **GRANT** planning permission subject to the conditions set out in the report.

8 22/03389/RE4 - THOMAS HARDY HOUSE 39 LONDON ROAD ENFIELD EN2 6DS

Ms A Busia, Planning Officer, introduced the report, highlighting the key aspects of the application.

In response to Member's queries, officers advised that there would be no impact on the conservation area, and that it would help to support the Museum which has a heritage and public benefit.

Cllr Rye pointed out that the site was located in Grange Park, as opposed to Town Ward.

In response to Member's queries regarding accessibility for pedestrians with disabilities, officers advised that the plans had been revised, with the middle section being dealt with under a licensing agreement, in order to assess the equalities impact, and give the Highways Authority more control.

Officers confirmed that management of the use of the seating area would be the responsibility of the Dugdale Arts Centre, and that as the building was owned by the council, anti-social behaviour could be raised and dealt with internally.

Cllr Rye expressed that the committee could seek an advisory as to whether CCTV was present, and request if it is considered rather than condition it, if it has not been covered. The Director of Planning and Growth conveyed that it was a heavily trafficked area and thus there was lots of natural surveillance.

Members had ongoing concerns with regards to the location of the seating area, and the potential for misuse/ damage.

The proposal having been put to the vote; Members voted:

10 FOR
1 AGAINST
0 ABSTENTIONS

and so, it was **AGREED**:

That the Head of Development Management be authorised to **GRANT** planning permission subject to the conditions set out in the report.

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9 SCHEME OF DELEGATION

AGREED the Scheme of Delegation.

10 DATES OF FUTURE MEETINGS

NOTED that the provisional meeting scheduled for Tuesday 6 June 2023 was not required, and that the next meeting would take place on Tuesday 20 June 2023.

It was **AGREED** that members would meet to conduct the site visit, agreed at the last meeting, of the deferred cycle/foot path between Broxbourne and Enfield, at the Civic Centre, at 6pm, the day of the next meeting, Tuesday 20 June 2023.

NOTED that the Head of Development Management would try to ensure the work programme was arranged so that scheduled provisional committee meetings in August could be moved/ not required.

NOTED the dates of future meetings as set out in the agenda pack.

The meeting ended at 21:43.

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London Borough of Enfield

Report Title	Report of Head of Development Management
Report to	Planning Committee
Date of Meeting	20 th June 2023
Cabinet Member	Councillor Susan Erbil
Executive Director / Director	Brett Leahy – Director of Planning & Growth Sarah Cary – Executive Director Housing, Regeneration & Development
Report Author	Andy Higham andy.higham@enfield.gov.uk
Ward(s) affected	All
Key Decision Number	Non Key
Classification	Part 1 Public

Purpose of Report

1. To advise members on process and update Members on the number of decisions made by the Council as local planning authority.

Recommendations

I. To Note

Background

2. Section 70 of the Town and Country Planning Act 1990 states that the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations. Section 54A of that Act, as inserted by the Planning and Compensation Act 1991, states that where in making any determination under the Planning Acts, regard is to be had to the development, the determination shall be made in accordance with the plan unless the material considerations indicate otherwise.
3. The development plan for the London Borough of Enfield is the London Plan (March 2015), the Core Strategy (2010) and the Development Management Document (2014) together the London Plan 2021. Other supplementary documents material to the assessment are identified in the individual reports.
4. Other background papers are those contained within the file, the reference number of which is given in the heading to each application and which can be viewed via the online planning register on the Council's website.

Main Consideration

5. On the Schedules attached to this agenda, recommendations in respect of planning applications and applications to display advertisements are set out.
6. Also set out in respect of each application a summary of any representations received. Any later observations will be reported verbally at your meeting.
7. In accordance with delegated powers, 437 applications were determined between 10/05/2023 and 06/06/2023, of which 279 were granted and 82 refused.
8. A Schedule of Decisions is available in the Members' Library.

Relevance to Council Plans and Strategies

9. The determination of planning applications supports good growth and sustainable development. Depending on the nature of planning applications, the proposals can deliver new housing including affordable housing, new employment opportunities, improved public realm and can also help strengthen communities

Financial Implications

10. None

Legal Implications

11. None

Equalities Implications

12 **None**

Report Author: Andy Higham
Head of Development Management
andy.higham@enfield.gov.uk
020 8132 0711

Date of report: 08.06.2023

Appendices

None.

Background Papers

To be found on files indicated in Schedule.

Background Papers

None

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LONDON BOROUGH OF ENFIELD		
PLANNING COMMITTEE	Date: 20th June 2023	
Report of Director of Planning & Growth – Brett Leahy	Contact Officers: Ms L Lewis Ms S Davidson	Category Minor (Dwellings)
Ward Ridgeway	Councillor Request Cllr J Laban	
LOCATION: 1 - 44 Avalon Close Enfield EN2 8LR		
APPLICATION NUMBER: 23/00294/FUL		
PROPOSAL: Construction of a part 3rd floor and 4th floor to existing blocks to provide a total of 8 units (4 on each block); 8 additional car parking spaces, a bicycle store for 16 bikes plus 2 Sheffield stands and additional bins (to be located within the existing bin shed).		
Applicant Name & Address: Mr T Alexandrou Southern Terrority (UK) Limited 1 The Green London E4 7ES	Agent Name & Address: Mrs C Apcar Kinetic House Theobald Street Boreham Wood WD6 4PJ	
Recommendation: <ul style="list-style-type: none"> - That the Head of Development Management be authorised to GRANT planning permission subject to conditions listed in this report: - That the Head of Development Management be granted delegated authority to agree the final wording of the conditions. 		

Ref: 23/00294/FUL LOCATION: 1 - 44 Avalon Close, Enfield, EN2 8LR,



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Scale 1:1250

North



1. Note for Members

- 1.1 Although an application of this scale and nature would normally be determined under delegated authority, the application has been reported to committee for determination as requested by Cllr Laban, and because previous applications for substantially the same development have been determined by committee.

2. Executive Summary

- 2.1 The proposal is to construct an upward extension on each of the two blocks of flats, Block A and Block B, to accommodate four new flats on each block. The existing blocks are part three storey and part four storey, so the extensions would be part single storey and part two storey.
- 2.2 Associated works are proposed including a new hardstanding area for car parking and additional cycle storage.
- 2.3 Two previous applications for substantially the same development have been refused and dismissed at appeal. The first was refused on the grounds of design, and of impact on amenity of existing occupiers. The appeal was dismissed in respect of impact on neighbour amenity, but not in respect of design.
- 2.4 The second application was refused on the grounds of impact on neighbour amenity. This was supported by the Inspector in respect of the circulation arrangements at third floor level, and impact on the bathroom windows to existing flats.
- 2.5 All other aspects of the scheme were considered acceptable.
- 2.6 This proposal, in the opinion of officers, now adequately addresses the sole reason why the most recent appeal was dismissed.

Recommendation

- 3.1 That planning permission be GRANTED subject to the following conditions:
1. Time limit
 2. Approved plans
 3. Construction Method Statement
 4. Energy Statement
 5. Surface Water Drainage
 6. Materials
 7. Cycle Parking
 8. Car Parking
 9. Water Efficiency

- 10. Emissions
- 11. Obscure Glazing
- 12. Refuse Storage
- 13. Accessibility M4(2).

Delegated Authority

- 3.2 That the Head of Development Management be granted delegated authority to agree the final wording of the conditions to cover the matters in the Recommendation section of this report.

4 Site & Surroundings

- 4.1 The site is located on the east side of The Ridgeway. The surrounding area is predominantly residential, with similar residential blocks at Hansart Way. At the end of Avalon Close is Dudrich Mews which is accessed from Drapers Road. Dudrich Mews comprises two buildings, one that addresses Drapers Road and one that is to the north of the Avalon Close blocks on land that used to be a garage court.
- 4.2 Each of the two cruciform flat blocks has a central stair core. The blocks are part three- and part four-storey (that is, each block has a ground floor, first floor, second floor, and a partial third floor). The flats are in the four wings projecting out from the core. The stair and access arrangement on the top floor is different as the stair leads onto a flat roof which provides access to the four flats at this level – two on each of two wings. Three of the four existing flats on each top floor have a terrace on the roof of the flats below but the other flats in the development do not have balconies or terraces.
- 4.3 The site is flat and there are car parking spaces along the roadway which is to the south of the flat blocks. The Enfield Lawn Tennis Club is to the north-west of the site and is designated as local open space.
- 4.4 The site is not within a Conservation Area nor is it listed. The site has a public transport accessibility level (PTAL) of 1b to 2.

5 Proposal

- 5.1 The proposal is for the creation of a part third (infill to the existing third floor) and fourth floor to both blocks to provide a total of eight flats with associated car parking and electric vehicle charging points.
- 5.2 The upward extensions would be in line with the existing external walls although slightly set back at the end of each wing and would be clad with a grey composite cladding. The window design and alignment would follow that of the existing block.
- 5.3 The access arrangements for the existing third floor flats would alter as the stair at this level would be enclosed so that it could continue onto the new fourth floor. The existing open access deck would be roofed and partially enclosed.
- 5.4 The flats provided would be the same across each block and would include, in total,
 - 4 x 2bed 4 person duplex at 3rd and 4th floor level

- 2 x 2bed 3 person flat at 4th floor level
- 2 x 1bed 2 person flat at 4th floor level

- 5.5 Between the two flat blocks, on an area currently grassed, a hardstanding is proposed for the parking of eight cars. An enclosed cycle store is also proposed.
- 5.6 Refuse storage would be accommodated within the existing bin store.
- 5.7 The new roofs would be green with solar panels.

6 Relevant Planning History

Application site

- 6.1 21/01308/FUL Creation of a part third and fourth floor to both blocks to provide a total of 8 self-contained units with associated parking involving electric vehicle charging point. Refused on the grounds that the proposed access and circulation arrangements and façade design would lead to a loss of privacy to occupiers of existing third floor flats. A subsequent appeal was dismissed.
- 6.2 19/00901/FUL Creation of a part third and fourth floor to both blocks to provide a total of 8 self-contained units comprising 6 x 2 bed and 2 x 1 bed with associated parking. Refused on the grounds that the proposed access and circulation arrangements and façade design would lead to a loss of privacy to occupiers of existing third floor flats, and that the proposed design would result in an unsympathetic and incongruous form of development detrimental to the appearance of the existing blocks and their setting and appearance within the wider area.
- 6.3 This application was refused on the 4/2/2020
- 6.4 This refusal was appealed, and the appeal was dismissed on the basis that proposed windows to some of the new flats would allow overlooking to existing flats; and that the circulation space at third floor level, including entrances to new flats, would overlook existing bathroom windows. The Inspector did not agree that there would be harmful overlooking from the new windows to the existing flats. The council's refusal on design grounds was not supported by the Inspector.

Surrounding Sites

- 6.5 17/00549/FUL. 1 – 64 Hansart Way EN2 8NB. Construction of fourth floor to both blocks to provide a total of 8 self-contained flats comprising (4 x 2 bed and 4 x 3 bed) with balconies to front side and rear. Approved subject to conditions 22/2/2018. The blocks have not yet been extended as approved.

7 Consultation

Statutory and Non-Statutory Consultees

a) Internal

Watercourses Team

- 7.1 Support the SuDS proposal to provide green roofs and permeable paving. Details required and a condition is recommended to cover this.

Environmental Health

- 7.2 No objection as there is unlikely to be a negative environmental impact. No concerns regarding air quality, noise or contaminated land. Conditions recommended regarding construction management and non-road mobile machinery.

Transportation

- 7.3 No objection.
Transport Statement is out of date however the drawings submitted with the application show the revised parking layout.
Although the additional flats would represent a slight increase in trips to and from the site, these would be residential trips and would not be significant or out of place.
Cycle storage supported.
Conditions requested regarding cycle parking and construction management plan.

- b) External

Designing Out Crime Officer

- 7.4 No objection. Has requested that a Secure by Design condition is imposed on any grant of planning permission.

Public Consultation Responses

Planning Application

- 7.5 Consultation letters dated 6/2/2023 were sent to 216 neighbouring and nearby properties. Following some revisions to the details shown on the plans reconsultation letters were issued on the 19/5/2023.
- 7.6 In response 76 representations have been received (to the 6 June).
- 7.7 The first consultation response raised, in summary, the following points. In the interests of clarity officers have made responses to some of these points which are indicated in *italics*.

Principle of development

- Too much development already/no benefit to borough
- It is understood that LBE has approved sufficient homes to meet targets up to 2023 but has not met the housing delivery target – this application shows why this might be – if PP is granted for something that can't be built – [a similar development at] Hansart Way was granted planning permission in 2012 but it hasn't happened and is hanging over people
- London Plan density refers to 50-95 dph in PTAL 2 (*Officer's response: the quoted figure was in the 2016 London Plan so no longer applies. The current London Plan does not include an equivalent standard but does identify that high density is above 350 dph.*)
- The presumption in favour of sustainable development is not mandatory and 1-2 bed units are a lower priority.
- New flats not suitable for families (Enfield's priority) not disability friendly and won't be affordable.
- Loss of green belt

Officers' response

Housing need and principle of development is addressed below. The site is not in the green belt

Impact on existing residents

- Noise and disturbance from building work, legal noise limit may be exceeded
- Noise from occupants of new flats
- Noise from existing flats
- Occupants of top floor flats concerned at loss of their open outlook and relative privacy and quiet, new stairwell would mean people walking past flats that aren't currently walked past
- Occupants of top floor flats concerned at proposed works to their flats such as moving boiler flues, putting in fire doors and the enclosure of their bathroom windows
- Occupants of top floor flats would be unable to access their flats during building works
- Loss of green space and increased noise for Ground Floor flats near the car parking – no other green space suitable for children to play out – contrary to policy about garden grabbing
- Flats do not have balconies, outside space important
- Overlooking from high level windows
- Existing flat has been shown incorrectly on the plans submitted
- Why has no daylight/sunlight review been submitted
- Loss of sunlight/daylight/outlook/privacy to properties on Drapers Road and Dudrich Mews

Officers' response

The matters raised are assessed in the relevant section below.

Parking and waste management

- Limited car parking capacity – site and local area already over-subscribed with car parking
- Only one bus that runs through the area
- Parking survey was flawed – included spaces adjacent to dropped kerbs and the Ridgeway. We carried out our own survey and the number of spaces was 2 (*officers note: no evidence provided*)
- Provision of only four car parking spaces, not 8 as claimed (*officers note: it appears that residents are counting the turning head as parking spaces*)
- Avalon Close residents parking on private spaces for Dudrich Mews – this land must not be used for construction traffic
- Bike store not required as not many people have bikes and would increase the likelihood of theft
- Expecting people to give up their cars in favour of cycles in unrealistic
- Fly-tipping, bin store often overflowing

Officers' response

The matters raised are assessed in the Transportation section

Design, appearance and character

- Not in keeping with local suburban character
- Will look hideous
- Zinc cladding out of keeping/character ; vertical zinc cladding out of keeping with existing horizontal cladding, grey windows out of keeping with existing white windows
- Would be the tallest building in the area
- Sections and elevations might not be correct due to uncertainty about the structure over the existing timber roof (*Officers note: revised plans were provided and reconsultation took place 19/5/2023*)

Officers' response

The matters raised are assessed in the design section below.

Other comments made

- Affect local ecology
- Strain on existing community facilities (*Officer's response: the development would be liable for the community infrastructure levy*)
- Has been refused three times already (*Officer's response: the previous decisions are a material consideration but this application must be assessed on its own merits*)
- Inaccuracies in the application, out of date reports (*Officer's response: the inaccuracies in the application have not hindered consideration of the application, nor has the submission of out of date reports. Reports were submitted to address car parking/access, trees, SuDS and sustainability and each of these matters is considered in the report below.*)
- The Design and Access Statement quotes the wrong number of flats (*Officer's response: the DAS would not form an approved document and the inaccuracy has not affected assessment of the proposal.*)
- Lift would be required but isn't shown on the plans
- Applicant is related to a councillor who sits on the planning committee (*Officer's response: members of the planning committee are required to reveal personal interests and to step away in certain circumstances. The application form has been amended to include this information.*)
- Online planning register shows incorrect numbers of consultations and comments (*Officer's response: this has not affected consideration of the application. Comments received in response to the application are not made available through the on line register. This report confirms the number of properties consulted and the number of responses received. The number shown on line resulted from a change to internal recording systems.*)
- Misleading application – described as part 3rd and 4th floor, it is adding a 5th floor (*Officer's response: buildings are usually described as having a ground floor, first floor, second floor etc. The description is correct, works are proposed to the third floor and the addition of a fourth floor which would be a fifth storey.*)
- At planning committee, it was noted that more resident consultation was needed, but there hasn't been any (*Officer's response: lack of consultation between the applicant and neighbours cannot form a reason for refusal and is not relevant to assessment of the planning merits of an application.*)
- Development does not fall under [Permitted Development Rights (PDR)] – PDR requires the submission of a construction management plan. Surely the same should have been submitted with this proposal (*Officer's response: the development is not Permitted Development but this does not generate any*

weight against the proposal when being considered as part of a full planning application. Construction Management can be secured by condition.)

- Applicant has said on the application form that there was no pre-app advice but there was in 2017. (*Officer's response: that advice was prior to the two earlier applications being submitted*).

Officers' response

The matters raised, where not responded to above, are assessed in the Biodiversity section below.

Comments made in respect of non-planning matters

- Comments relating to obligations in leases
- Structural concerns and concerns around fire safety, changes/upgrading to existing services, flues, pipes etc.
- There would no purpose in approving a scheme if it does not comply with [Building Regulations/Fire Safety]
- Green roof and other matters could increase service charges
- Freeholders have failed to maintain trees that back up against neighbouring properties
- Rooftop flats have non-fireproof elements
- Freeholder has not discussed with leaseholders – no benefit to current residents
- Possible increase in service charges
- Will increase value of freehold even if build doesn't take place, leaseholders will be unable to afford the additional service charges let alone be in a position to buy the freehold
- Approval would fly in the face of the governments leasehold reforms to help flat owners
- Residents on top floor would have to be moved out for duration of building works – health and safety, and privacy
- Sale of airspace – tenants have right of first refusal but had not been discussed with leaseholders
- Comment regarding tenure of occupants
- Impact on mental health of current residents
- Compensation to leaseholders for inconvenience, increase in insurance etc
- If permission is granted it might not be able to be built but would hang over the residents and prevent buying and selling
- Application plans are not the same as the plans on the developer's website

Officers' response

As members will be aware, matters such as fire safety and structural issues are governed by other legislation including the Building Regulations. London Plan policy D12 relating to Fire Safety is commented on in the Design section below. Notwithstanding that these matters would not generally be assessed as part of a planning proposal, no weight can be given to compliance or otherwise with Building Regulations other than in limited cases.

Matters relating to the rights and responsibilities in leases would be matters for parties to resolve between themselves.

Neighbour reconsultation

7.8 Further responses were received repeating many of the comments above and making the following additional comments.

- Increased height will cause more shade and loss of light
- Extent of shading not clear, should be a daylight/sunlight review
- Increased height will affect outlook
- This is a completely revised proposal for a taller building
- Will this really be the finished building height
- Roof needs reinforcement, suggests that foundations will not take the extra weight either
- Height of fifth storey is disproportionate to the lower storeys
- PV panels will further increase the overall appearance of the height
- Drawings show trees incorrectly
- Impact on people's mental health
- Local population will increase
- Cladding might be a fire risk – fire safety requirements could affect mortgagability of existing flats
- Previous proposals were refused because of height, why is it being considered again (*Officer's response: the most recent refusal was not on the grounds of height or design*)
- Fire risk/security/pollution/bin storage during construction period
- Third floor bathroom windows will be onto an enclosed area
- Zinc cladding will look like an industrial building
- Will be impossible for [development] to blend in with surrounding area
- Local authority can decline to determine applications if they have previously refused permission for two or more substantially similar applications, perhaps this should be done (*Officer's response: this is a materially different proposal that directly addresses the reason for dismissal of the most recent appeal*)
- Developer doesn't care for the current residents
- This should be dismissed as the application is ethically wrong.

8 Relevant Planning Policies

8.1 Section 70(2) of the Town and Country Planning Act 1990 requires the Committee have regard to the provisions of the development plan so far as material to the application: and any other material considerations. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires planning decisions to be made in accordance with the development plan unless material considerations indicate otherwise.

National Planning Policy Framework 2021

8.2 The National Planning Policy Framework (NPPF) introduces a presumption in favour of sustainable development. In this respect, sustainable development is identified as having three dimensions - an economic role, a social role and an environmental role. For decision taking, this presumption in favour of sustainable development means:

- a) an economic objective – to help build a strong, responsive and competitive economy, by ensuring that sufficient land of the right types is available in the right places and at the right time to support growth, innovation and improved productivity; and by identifying and coordinating the provision of infrastructure;
 - b) a social objective – to support strong, vibrant and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering a well-designed and safe built environment, with accessible services and open spaces that reflect current and future needs and support communities' health, social and cultural well-being; and
 - c) an environmental objective – to contribute to protecting and enhancing our natural, built and historic environment; including making effective use of land, helping to improve biodiversity, using natural resources prudently, minimising waste and pollution, and mitigating and adapting to climate change, including moving to a low carbon economy.
- 8.3 The NPPF recognises that planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. The NPPF does not change the statutory status of the development plan as the starting point for decision making.
- 8.4 In relation to achieving appropriate densities Paragraph 124 of the NPPF notes that planning policies and decisions should support development that makes efficient use of land, whilst taking into account:
- a) the identified need for different types of housing and other forms of development, and the availability of land suitable for accommodating it;
 - b) local market conditions and viability;
 - c) the availability and capacity of infrastructure and services – both existing and proposed – as well as their potential for further improvement and the scope to promote sustainable travel modes that limit future car use;
 - d) the desirability of maintaining an area's prevailing character and setting (including residential gardens), or of promoting regeneration and change; and
 - e) the importance of securing well-designed, attractive and healthy places.
- 8.5 Paragraph 48 of the NPPF details when weight may be given to relevant emerging plans. This guidance states that the stage of preparation, the extent to which there are unresolved objections and the degree of consistency of relevant policies to the Framework are relevant.

Housing Delivery Test / Presumption in Favour of Sustainable Development:

The NPPF sets out at Paragraph 11 a presumption in favour of sustainable development. For decision taking this means:

- "(c) approving development proposals that accord with an up-to date development plan without delay; or

- (d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date (8), granting permission unless:
- the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed (7); or
 - any adverse impacts of so doing would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole.
- 8.6 Footnote (8) referenced here advises "This includes, for applications involving the provision of housing, situations where the local planning authority cannot demonstrate a 5 year supply of deliverable housing sites (with the appropriate buffer, as set out in paragraph 74); or where the Housing Delivery Test indicates that the delivery of housing was substantially below (less than 75% of) the housing requirement over the previous 3 years."
- 8.7 In summary, the presumption in favour of sustainable development applies in two situations – where a Council is unable to demonstrate a five-year housing land supply, and when a Council fails to achieve 75 per cent or more in the Housing Delivery Test.
- 8.8 Enfield Council currently fails against both criteria – and is therefore subject to the most severe government sanctions which impact the Council's consideration of housing-led planning applications.
- **5-year housing land supply:** Members will be aware of the need to be aware of the Council's housing land supply – and how it impacts on decision making. When there is not an up-to-date Local Plan, and 5-year housing land supply cannot be demonstrated then this has a significant impact on the weight given to material planning considerations. The NPPF presumption, or 'tilted balance', applies in Enfield due to the Council's inability to demonstrate the required five-year housing land supply. The Council is unable to demonstrate a 5-year supply of deliverable housing sites and this impacts on the status of its Local Plan policies.
 - **Housing delivery test:** The NPPF presumption, or 'tilted balance', also applies in Enfield because Enfield is one of 51 Councils which have achieved below 75 per cent against the Housing Delivery Tests – it is therefore also subject to the Housing Delivery Tests most severe government sanction, the NPPF's presumption in favour of sustainable development.
- 8.9 The Housing Delivery Test (HDT) is an annual measurement of housing delivery introduced by the Government through the NPPF. It measures the performance of local authorities by comparing the completion of net additional homes in the previous three years to the housing targets adopted by local authorities for that period.
- 8.10 Local authorities that fail to meet 95% of their housing targets need to prepare a Housing Action Plan to assess the causes of under delivery and identify actions to increase delivery in future years. Local authorities failing to meet 85% of their housing targets are required to add 20% to their five-year supply of deliverable housing sites targets by moving forward that 20% from later stages of the Local Plan

period. Local authorities failing to meet 75% of their housing targets in the preceding 3 years are placed in a category of "presumption in favour of sustainable development".

- 8.11 The Council's recent housing delivery has been below our housing targets. This has translated into the Council being required to prepare a Housing Action Plan in 2019 and being placed in the "presumption in favour of sustainable development category" by the Government through its Housing Delivery Test. This status has recently been confirmed for the period 2022-23.
- 8.12 In 2020 Enfield delivered 56% of the 2,328 homes target and was as a result placed into the "presumption in favour of sustainable development" category. In January 2021 Enfield delivered 67% of its homes target. The Council therefore remains in the "presumption in favour of sustainable development".
- 8.13 This is referred to as the "tilted balance" and the NPPF states (see paragraph 8.6 above) that for decision-taking this means granting permission unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole – which also includes the Development Plan.
- 8.14 Under the NPPF paragraph 11(d) where the most important development plan policies for the application are deemed to be 'out of date', planning permission should be granted. That does not mean out of date policy can be disregarded, but it means that less weight can be applied to it, and applications for new homes should be given weight by the Planning Committee when undertaking their assessment taking account of the "tilted" balance that applies. The level of weight given is a matter of planning judgement and the statutory test continues to apply, that the decision should be, as section 38(6) of the Planning and Compulsory Purchase Act 2004 requires, in accordance with the development plan unless material considerations indicate otherwise.

The London Plan 2021

- 8.15 The London Plan together with Enfield's Local plan forms the Development Plan for this application. It is the overall strategic plan for London setting out an integrated economic, environmental, transport and social Framework for the development of London for the next 20-25 years. The following policies of the London Plan are considered particularly relevant:

- GG1 Building Strong and Inclusive Communities
- GG2 Making the Best Use of Land
- GG3 Creating a Healthy City
- GG4 Delivering the Homes Londoners Need
- D3 Optimising Site Capacity through the Design-Led Approach
- D4 Delivering Good Design
- D6 Housing Quality and Standards
- D7 Accessible housing
- H1 Increasing housing supply
- H2 Small sites
- H10 Housing size mix
- G5 Urban greening
- G6 Biodiversity and access to nature
- G7 Trees and woodlands
- SI2 Minimising greenhouse gas emissions

- SI4 Minimising heat risk
- T5 Cycling
- T6.1 Residential [car] parking

Local Plan - Overview

- 8.16 Enfield's Local Plan comprises the Core Strategy, Development Management Document, Policies Map and various Area Action Plans as well as other supporting policy documents. Together with the London Plan, they form the statutory development plan for the Borough. Enfield's Local Plan sets out planning policies to steer development where they align with the NPPF and the London Plan 2021. Whilst many of the policies do align with the NPPF and the London Plan, it is noted that these documents do in places supersede the Local Plan in terms of some detail and as such the proposal is reviewed against the most relevant and up-to-date policies within the Development Plan.

Enfield Core Strategy: 2010

- 8.17 The Core Strategy was adopted in November 2010 and sets out a spatial planning framework for the development of the Borough through to 2025. The document provides the broad strategy for the scale and distribution of development and supporting infrastructure, with the intention of guiding patterns of development and ensuring development within the Borough is sustainable. The following policies are of particular relevance to this application.

- CP2 Housing supply and locations for new homes
- CP4 Housing quality
- CP5 Housing types
- CP9 Supporting community cohesion
- CP20 Sustainable energy use and energy infrastructure
- CP24 The road network
- CP25 Pedestrians and cyclists
- CP30 Maintaining and improving the quality of the built and open environment

Development Management Document (2014)

- 8.18 The Council's Development Management Document (DMD) provides further detail and standard based policies by which planning applications should be determined. Policies in the DMD support the delivery of the Core Strategy.

- 8.19 The following local plan Development Management Document policies are considered particularly relevant:

- DMD3 Providing a Mix of Different Sized Homes
- DMD6 Residential Character
- DMD8 General Standards for New Residential Development
- DMD9 Amenity Space
- DMD10 Distancing
- DMD37 Achieving High Quality Design-Led Development
- DMD45 Parking Standards
- DMD47 New Roads, Access and Servicing
- DMD49 Sustainable Design and Construction Statements
- DMD51 Energy Efficiency Standards
- DMD53 Low and Zero Carbon Technology
- DMD55 Use of Roof Space / Vertical Surfaces

DMD58 Water Efficiency
 DMD59 Avoiding and Reducing Flood Risk
 DMD61 Managing Surface Water
 DMD65 Air Quality
 DMD68 Noise
 DMD80 Trees on Development Sites
 DMD81 Landscaping

8.20 Other Material Considerations

National Planning Practice Guidance
 Mayor of London Housing SPG (Adopted March 2016)
 LBE S106 SPD 2016
 Enfield Local Housing Needs Assessment 2020
 Community Infrastructure Levy Regulations 2010 (as amended)
 Technical housing standards – nationally described space standard 2015
 Enfield Blue and Green Strategy June 2021
 Enfield Waste and Recycling Storage Planning Guidance (2010),
 TfL London Cycle Design Standards (2014)
 Energy Guidance LPG 2021
 Be Seen Energy Monitoring LPG 2021
 Draft Housing Design Standards LPG 2022
 Draft Urban Greening Factor LPG 2021

Enfield Local Plan (Regulation 18) 2021

8.21 The Regulation 18 document sets out the Council’s preferred policy approach together with draft development proposals for several sites. It is Enfield’s Emerging Local Plan.

8.22 As the emerging Local Plan progresses through the plan-making process, the draft policies within it will gain increasing weight, but at this stage it has relatively little weight in the decision-making process.

8.123 Key local emerging policies from the plan are listed below.

Policy DM SE2	Sustainable design and construction
Policy DM SE4	Reducing energy demand
Policy DM SE5	Greenhouse gas emissions and low carbon energy supply
Policy DM SE7	Climate change adaptation and managing heat risk
Policy DM SE8	Managing flood risk
Policy DM SE10	Sustainable drainage systems
Strategic Policy SPBG3	Biodiversity net gain, rewilding and offsetting
Policy DM BG8	Urban greening and biophilic principles
Policy DM DE1	Delivering a well-designed, high-quality and resilient environment
Policy DM DE2	Design process and design review panel
Policy DM DE6	Tall buildings
Policy DM DE7	Creating liveable, inclusive and quality public realm
Policy DM DE10	Conserving and enhancing heritage assets
Policy DM DE11	Landscape design
Policy DM DE13	Housing standards and design
Policy DM H2	Affordable housing
Policy DM H3	Housing mix and type
Policy DM T2	Making active travel the natural choice

Strategic Policy SP D1 Securing contributions to mitigate the impact of development

9 Analysis

- 9.1. The Planning and Compulsory Purchase Act 2004 and the Town and Country Planning Act 1990 seek to establish that planning decisions are taken in accordance with the Development Plan unless material considerations indicate otherwise. Furthermore, paragraph 11 (c) of the NPPF goes on to state that development proposals that accord with the development plan should be approved without delay.
- 9.2. As explained at Section 8, the Council is subject to the so called “tilted balance” and the NPPF states that for decision-taking this means granting permission unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole – which also includes the Development Plan. Under the NPPF paragraph 11(d) the most important development plan policies for the application are deemed to be ‘out of date’. However, the fact that a policy is considered out of date does not mean it can be disregarded, but it means that less weight can be applied to it, and applications for new homes should be considered with more weight (tilted) by planning committee. The level of weight given is a matter of planning judgement and the statutory test continues to apply, that the decision should be, as section 38(6) of the Planning and Compulsory Purchase Act 2004 requires, in accordance with the development plan unless material considerations indicate otherwise.
- 9.3. This report sets out the analysis of the issues that arise from the proposal when assessed against the development plan and the NPPF.
- 9.4. This application has been subject to amendment to address some of the concerns raised by officers and local residents through the consultation process.
- 9.5. The main considerations of the development are the following.
- Principle of Development
 - Housing Need and Mix
 - Character and Design
 - Neighbouring Residential Amenities
 - Quality of Accommodation
 - Flood Risk and Drainage
 - Trees and Landscaping
 - Biodiversity
 - Access Traffic and Parking
 - Carbon Emissions and Sustainability

Principle of Development

- 9.6 The site is not allocated for any particular use. It is in residential use in a residential area and is reasonably well connected to services and facilities. The principle of increasing the residential use of the site is acceptable and accords with London Plan policy GG4 and paragraph 69 of the NPPF which supports use of small and windfall sites.

Housing Need and Mix

- 9.7 The current London Plan sets a target for the provision of 52,287 new homes each year. In addition, the London Plan identifies a need for a minimum of 1,246 dwellings

per year to be delivered over the next 10-years in the Borough, based on the Strategic Housing Market Assessment (SHMA): an increase over the current target of 798. Whilst Enfield's 2019 Housing Action Plan recognises that the construction of more affordable, high-quality homes is a clear priority, only 51% of approvals in the Borough have been delivered over the previous 3-years.

- 9.8 Enfield's Housing and Growth Strategy (2020) was considered by Cabinet in January 2020 and approved at the February 2020 Council meeting. This sets out the Council's ambition to deliver ambitious adopted London Plan targets.
- 9.9 Local and national policy both support the provision of housing to meet identified need. The housing mix sought for market developments across the borough as a whole is 20% 1 and 2 bed flats (1-3 persons), 15% 2 bed houses (4 persons), 45% 3 bed houses , (5-6 persons), 20% 4+ bed houses (6+ persons).
- 9.10 Given the constraints of this site it would not be suitable for houses or for larger flats. The proposal seeks to optimise development on the site without further significant encroachment on garden space and therefore proposes additional accommodation as rooftop extensions. As the units would be at upper levels and only served by staircase access they would not be suitable as family accommodation.
- 9.11 The housing mix policy is a borough-wide target and each site needs to be considered in the context of what it can support, in the context that there is an overriding need for all types of housing. This scheme would deliver eight additional housing units of a mix of sizes, albeit none would be three or more bedrooms. It would therefore make a valuable contribution to meeting housing need, and this must be given significant weight.

Character and Design

- 9.12 Enfield Development Management Document Policy DMD37 ("Achieving High Quality Design-Led Development") states that development that is not suitable for its intended function, that is inappropriate to its context, or which fails to have appropriate regard to its surroundings, will be refused. However, it also recognises that there is a degree of subjectivity in this assessment of acceptable design.
- 9.13 Policy DMD8 ("General Standards for New Residential Development") seeks to ensure that development is high quality, sustainable, has regard for and enhances local character, can meet the existing and future needs of residents, and protects residential amenity for neighbouring residents.
- 9.14 Policy DMD13 ("Roof Extensions") will only permit extensions of an appropriate size and location that must not disrupt the character or balance of the property or group of properties of which the dwelling forms a part. This policy primarily relates to roof extensions on individual dwellings
- 9.15 The proposed additional storeys would be clad in grey panels with windows following the existing fenestration pattern. Some elements would be set back, resulting in a stepped building which follows the existing design.
- 9.16 Concerns were raised about the section plans, specifically the roof build up details, possibly not being correct and revisions have been secured. This revision makes an alteration to the height of about 0.75m.

- 9.17 The increase in height of the building is not of itself a reason to refuse the proposal. The height of the blocks would increase from 10.87m at the higher existing level to 14.27m overall. Previous applications have not been refused, nor appeals dismissed, on this basis. At the time when the last application was refused the overall height proposed was about 0.75m less than that proposed now however the first application proposed a height of 14.46m. The Inspector at the first appeal did not identify any harm due to the height. While this change in height is a material alteration to the scheme as proposed when this application was initially submitted it is not considered that, in the context of the scheme overall, this would tip the balance of acceptability of the design.
- 9.18 Comments have been made questioning whether the proposed height would really be the finished building height. The developer was asked to amend the plans in response to concerns from residents about changes to the roof structure and this resulted in the increase in height. Should a further increase in height be required for structural reasons after planning permission is granted then the applicant would have to apply to the local planning authority for a determination as to whether an amendment application would be required. This application however has to be assessed and determined on the basis of the information submitted.
- 9.19 London Plan policy D12 relates to Fire Safety, which has been raised as a concern by neighbours. Only certain sections of the policy apply to this application. This policy requires that various matters are secured however in respect of this application the access arrangement for the existing buildings is not changing – there are no ground floor changes proposed other than the provision of the car and cycle parking. The means of escape would be covered by the Building Regulations. A condition could be used to secure matters such as an evacuation strategy if not secured through the Building Regulations. The applicant is confirming fire appliance access, and this will be covered in the update report.
- 9.20 Comments have been made regarding the design, expressing views that the development would not be in keeping with the local area and that the vertical cladding would be out of keeping with the existing horizontal cladding and that the proposed grey windows would be out of keeping with the existing white windows.
- 9.21 The details of the external appearance are not materially different to the 2021 proposal, which addressed concerns raised by Members in refusing the 2019 proposal. The 2019 refusal was appealed, and the Inspector did not consider that the refusal on design grounds could be supported. The 2021 application was not refused for reasons of character or design and there has been no material change to the area or policy since then that would lead to a different conclusion.
- 9.23 A condition to secure details of external materials is recommended.

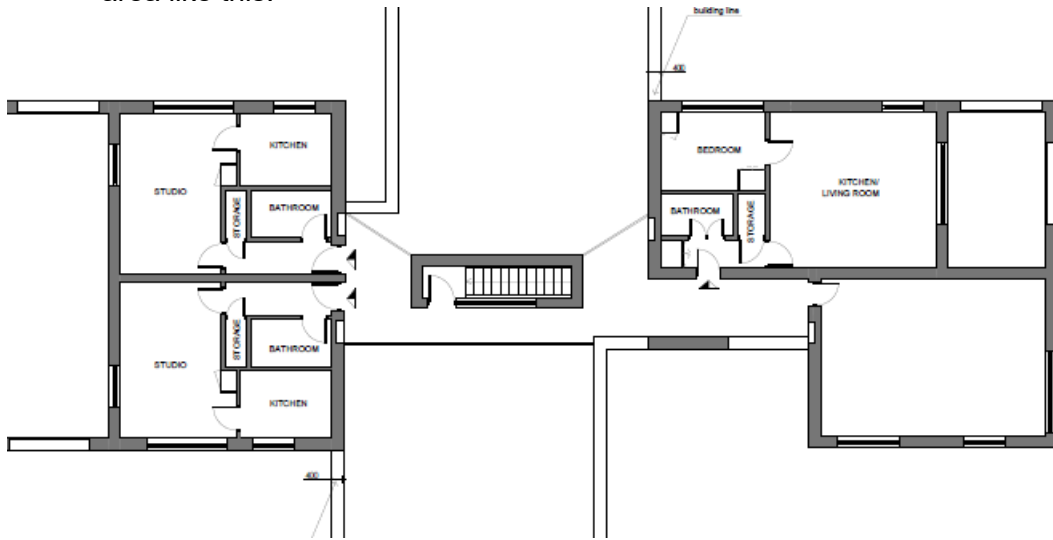
Neighbouring Residential Amenity

- 9.24 Both of the two previous applications, and both appeals, have been refused/dismissed because of the impact on privacy of existing residents of the flats. The proposal has been amended to address the reasons for dismissal of the most recent appeal.
- 9.25 As now proposed, the windows in elevations with the potential to overlook existing flats and terraces would be high level. This was the case when the Inspector considered the refusal of the 2021 application, and the appeal decision does not

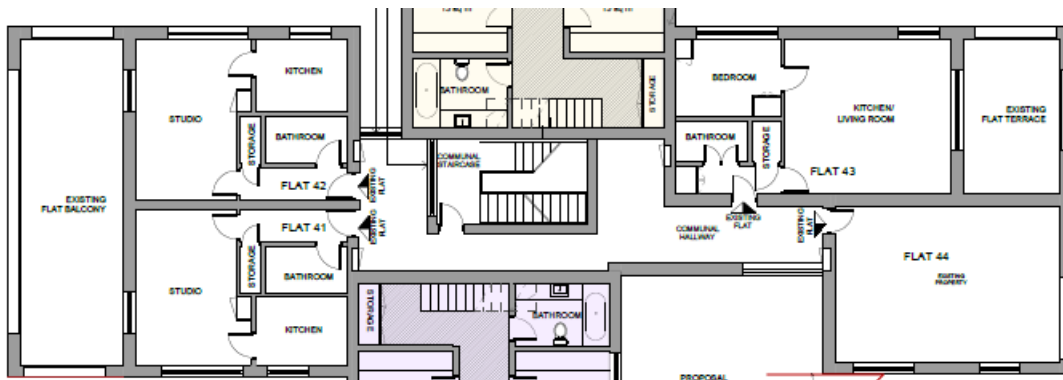
raise a concern on this basis. It is not considered that the increase in height would affect this.

9.26 The appeal in 2022 was dismissed because of the relationship between the communal stair and the bathroom windows which open onto the access deck at third floor. The 2021 proposal altered the third floor circulation layout, but the current proposal makes no change to the existing layout at third floor. People approaching existing flats on the third floor would exit the stair at the same place and at the same angle as they currently do. None of the proposed new flats would be accessed at third floor level. This is considered to address, in an acceptable way, the sole reason why the most recent appeal was dismissed.

9.27 The third floor as existing, and as proposed under this application, has a circulation area like this:



Existing plan – showing exit from existing stair



Proposed plan – showing same exit arrangement as already existing.

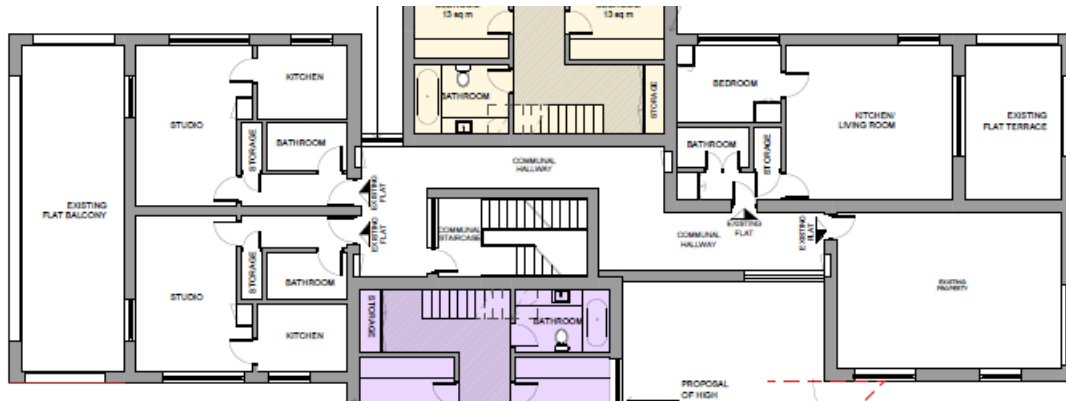
The proposed new flats are in yellow and purple – note they are not accessed on this level.

9.28 This indicates that views for people exiting the stairwell to go to the landing would be exactly the same as existing. The window between the stairwell and the landing would be obscure glazed and fixed shut. A condition is recommended to secure this.

- 9.29 The third floor as proposed in the 2021 application would have been like this, this layout was refused and dismissed at appeal because of the increase in looking towards bedroom windows.

Plan showing the 2021 scheme which was refused/dismissed due to the stair/door arrangements on the third floor landing.

This plan is not part of the current proposal.



- 9.30 Under the current proposal, none of the new flats would be accessed at third floor level and the circulation at this level would not change. This means that the reason for dismissal of the most recent appeal has been addressed.
- 9.31 Objections have been received to the enclosing of the existing third floor access deck which is currently open and uncovered. It is not considered that this would have such a harmful impact on amenity of occupiers as to warrant refusal of the application, and it is noted that this has not formed part of any earlier refusal or dismissal.
- 9.32 Objections have been received on the grounds of overlooking, noise and loss of light affecting occupants of the existing flats within Avalon Close. Other than the matter explained above and the increase in height there is no change to the scheme since the most recent appeal was dismissed. An increase in height of 0.75m is unlikely to have a substantial alteration to the shading that was previously considered acceptable.
- 9.33 In respect of the partial enclosure of existing terraces, which is a concern of some residents, this was not previously considered unacceptable and the increase in height of 0.75m is unlikely to result in a significant change. The walls alongside some of the existing third floor terraces are currently about 2.9m above terrace level, the initial proposal would have increased this to 5.57m and the current proposal would increase it to 6.32m. Given that the principle of extending wall heights in these locations has previously been considered acceptable it is only the increase from 5.57m to 6.32m that should be considered. It is not considered that this increase in height would make a material change to the shading on the terraces.
- 9.34 Objections have been received on the grounds of overlooking, noise and loss of light affecting occupants of nearby developments including homes on Dudrich Mews and Drapers Road. These matters were not previously considered unacceptable. There is a separation distance of 21-25m between the closest part of the flat blocks and the rear of properties on Drapers Road. The flat blocks are not parallel to those houses and the closest point is a corner rather than a length of wall, which would further

reduce the impact. The blocks of flats are to the east of the Draper's Road properties. It is not considered that there would be any impact on daylight reaching those properties, and due to the shape of the blocks and the distance any alteration to shading would be minimal. There would be no windows directly facing the rear of these properties.

- 9.35 In respect of Dudrich Mews, the building accommodating Nos 7 - 13 is to the north of the application buildings. There is a separation distance of 18m between the nearest corner of the Avalon Close block and the south elevation of Dudrich Mews. None of the existing or proposed windows would face directly so there would be no change to the overlooking situation. In respect of daylight and sunlight, as the additional storey would have a slight set back and the block is not parallel to the Dudrich Mews flats, it is considered that any impact in this respect would be minimal and intermittent. This matter was not previously considered unacceptable.
- 9.36 Comments have been made about noise from the new flats. Noise insulation is required and controlled by the Building Regulations and there is no reason to suppose that additional dwellings, constructed to comply with the relevant regulations, would result in unacceptable noise impact on neighbours. It is important to remember that a planning application cannot be refused on the basis that people might make unreasonable levels of noise. Applications have to be assessed on the basis that people will behave in a reasonable manner, and it is reasonable noise that the Building Regulations would seek to mitigate. Previous applications were not refused on this basis.
- 9.37 Comments have been received about the impact of the car parking on occupants of the ground floor flats. This is unchanged since the last application was determined and did not then form a reason for refusal. The proposed car parking would be about 2m from the nearest flat windows in Block B, which appear to be non-habitable kitchen windows. Habitable room windows are further away. Hedging could be used to provide a buffer between the car parking spaces and the ground floor flats. A condition is recommended to secure this.
- 9.38 Comments have been received about the existing refuse storage being inadequate. This application cannot be used to remedy existing problems with the bin storage – that is a matter for site management. The proposal includes additional refuse bins to be stored in the existing shed, which appears to have space for them. The applicant proposes 1880 litres of general waste provision and 720 litres of recycling provision. These figures are broadly in accordance with the requirements in the council's Waste and Recycling Storage Guidance. Concerns about refuse storage have not previously formed a reason for refusal.
- 9.39 Impact on occupiers of neighbouring dwellings (that is, beyond the Avalon Close blocks) was not a reason for refusal of either earlier application or dismissal of either appeal and has therefore been considered acceptable by two planning committees and two planning inspectors. There has been no significant change in circumstances that should lead to a different conclusion.

Quality of Accommodation

- 9.40 None of the earlier refusals or dismissals related to levels of amenity for occupiers of the proposed new flats.

- 9.41 The flats would each comply with the internal space standards required by London Plan policy D6.
- 9.42 The four two-storey units would each have an external terrace of 18 sq m which would exceed the private amenity space requirement specified in policy DMD9 (7 sq.m m for 2b4p units with communal amenity space). The other four flats would not have private amenity space. Although this is contrary to the requirements of policy DMD9, which requires all new dwellings to have external amenity space, revisions were made to the proposal in 2019 to remove some of the private amenity areas due to the impact on other aspects of the development and the site. The current proposal is an evolution of the same proposal. The provision of flats without private amenity space is considered acceptable in this instance given the constraints of the site and the provision of outside space around the blocks. With the exception of some flats on the top floor, none of the existing flats have private amenity space.
- 9.43 Windows to the proposed new flats would provide adequate light, outlook and privacy for the occupiers. The windows would, externally, follow the pattern of windows to existing flats, but some would be high level to avoid overlooking to existing windows and roof terraces. Each of the habitable rooms served with a high level window would also have lower windows on a different wall to allow outlook.
- 9.44 London Plan policy D7 requires that all new dwellings to which Part M of the Building Regulations would apply are constructed to standard M4(2). It does not appear, from the plans, as though this development would comply with the requirement. As the proposal is to provide additional flats above existing flats, with shared common areas and constraints on fenestration, it is not considered that it would be reasonable to require that the M4(2) standard is applied in its entirety as this would require changes to the common areas and the installation of a lift in each block.
- 9.45 It would be possible for the flats to be amended internally to secure compliance to, for example, bathroom layouts, by condition. The applicant has been asked to confirm whether any material external alterations would be required to secure compliance with M4(2) in order to maximise the benefits of the development. The wording of the condition can be confirmed in the update report.
- 9.46 Quality of living accommodation to the new flats was not a reason for refusal of either earlier application or dismissal of either appeal and has therefore been considered acceptable by two planning committees and two planning inspectors. There has been no material change in circumstances that should lead to a different conclusion.

Flood Risk and Drainage

- 9.47 The applicant proposes to use green roofs and sustainable drainage including permeable paving to the new car parking areas, however, has not yet explained the details. The principle of this approach is acceptable, and a condition is recommended to secure the details.

Trees and Landscaping

- 9.48 A tree survey has been provided and is dated 2019. The plans show that no trees would be removed to carry out the development, although the proposed new hardstanding and cycle store would impinge on the root protection areas. There

appears to be capacity elsewhere on the site to accommodate the cycle parking if necessary and this could be secured by condition.

- 9.49 Tree protection during the development period can be secured by condition. Details of the hardstanding and the installation of the cycle parking should also, in respect of impact on trees, be sought by condition although it is noted that the incursion onto the RPAs would be limited in area.

Biodiversity

- 9.50 There is unlikely to be any harm caused to biodiversity other than by loss of grass and microfauna in the soil caused by installation of the hardstanding. A condition is recommended to secure details of the green roofs which would have a biodiversity benefit.

Access, Traffic, and Parking

- 9.51 Avalon Close is adopted highway. It is a cul de sac with a turning head at the end. The existing access arrangements from the highway would be unchanged by the proposal. An additional eight dwellings would not have a material impact on traffic levels.
- 9.52 Cycle parking would be provided in a new shelter accommodating 16 cycles. This is considered acceptable, and a condition is recommended to secure details and provision prior to occupation.
- 9.53 The existing car parking on the Close is in high demand however this application cannot be used to secure improvements to the existing situation. Eight additional car parking spaces would be provided on a new area between the two buildings. The PTAL of the area is 1b/2 which, according to London Plan policy, would lead to a maximum provision of between six and twelve spaces. Eight spaces are considered acceptable as most of the site is within the higher PTAL level area.
- 9.54 Comments have been received about car parking and the length of time that has elapsed since the car parking survey was carried out. The proposal is for car parking provision to support the new units in accordance with London Plan policy; the provision of a further car parking survey would not change this. The previous applications were not refused for reasons related to access, traffic or parking and there has been no material change to the area or policy since then that would lead to a different conclusion.

Carbon Emissions and Sustainability

- 9.55 London Plan policies SI 1 (“Improving air quality”) and SI 2 (“Minimising greenhouse gas emissions”) seek improvements to air quality and to reduce greenhouse gas emissions.
- 9.56 London Plan Policy SI 13 (“Sustainable drainage”) states that development should aim to achieve greenfield run-off rates and ensure that surface water run-off is managed as close to its source as possible.
- 9.57 Enfield Core Strategy Policy CP20 (“Sustainable Energy Use and Energy Infrastructure”) sets a strategic objective to achieve the highest standard of sustainable design and construction throughout the Borough.

- 9.58 Enfield Development Management Document Policies DMD49 (“Sustainable Design and Construction Statements”), DMD50 (“Environmental Assessment Methods”) and DMD51 (“Energy Efficient Standards”) provide the criteria upon which developments will be assessed with regard to achieving the highest sustainable design and construction standards, having regard to technical feasibility and economic viability and compliance with targets relating to the relevant adopted environmental assessment methods respectively.
- 9.59 DMD 58 (“Water Efficiency”) requires new residential development to archive water use of under 50 litres per person per day.
- 9.60 Policy DMD 61 (“Managing Surface Water”) expects a Drainage Strategy will be required for all developments to demonstrate how proposed measures manage surface water as close to its source as possible and follow the drainage hierarchy in the London Plan.
- 9.61 The applicant has submitted a sustainability report dated 2018. This shows that the development could achieve the 35% improvement over the 2013 version of Part L of the Building Regulations. The report also specifies solar photo voltaic panels.
- 9.62 Part L of the Building Regulations has been updated recently and policy SI2 of the London Plan states that the threshold (35%) will be reviewed if Part L is updated. There is updated guidance on the GLA website. Given the changes since the applicant’s sustainability report was prepared a condition is recommended to secure an up to date energy statement prior to any development being carried out to ensure that the development follows the most recent guidance and achieves up to date targets.

Secure by Design

- 9.63 The Metropolitan Police Secure by Design Officer has no objection but has requested a condition. However, the issues commented on relate to matters that would not normally be controlled through land use planning. The application is for a roof-top extension and cannot be used to secure changes to the existing building. This condition was not recommended on previous applications.

Community Infrastructure Levy (CIL)

Mayoral CIL

- 9.64 Mayoral CIL is collected by the Council on behalf of the Mayor of London. The amount that is sought for the scheme is calculated on the net increase of gross internal floor area multiplied by an Outer London weighting (increased to £60per sqm as of 1st April 2019).

Enfield CIL

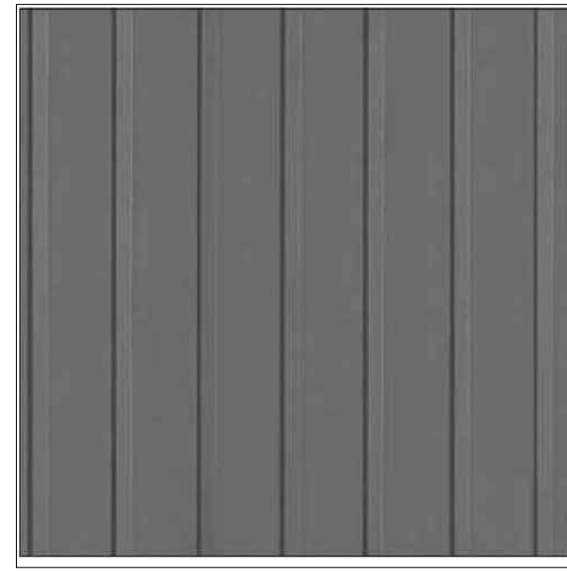
- 9.65 The Council introduced its own CIL on 1st April 2016. Enfield has identified three residential charging zones, and the site falls within the intermediate rate charging zone (£60/sqm).
- 9.66 The estimated CIL contribution is £66,898 for the Enfield CIL and £54,735 for Mayoral CIL.

10. Public Sector Equality Duty

- 10.1. It is considered the proposal would not disadvantage people who share one of the different nine protected characteristics as defined by the Equality Act 2010 compared to those who do not have those characteristics, except that there would not be step-free access to the new dwellings. This duty has been considered and given the nature of the proposals the additional dwellings would not be able fully to comply with the additional accessibility requirements of the Building Regulations. However, these would be market dwellings and purchasers/occupiers would have choice about occupying them. The public benefit of providing additional dwellings and the tilted balance giving substantial weight towards the provision of housing indicates that on balance the matter is acceptable.

11. Conclusion

- 11.1 The need for additional housing has to be given significant weight. The proposed development would provide eight new homes meeting up to date space and sustainability standards, in a location reasonably close to services and facilities. Not all of the flats would have private amenity space and they would not be fully accessible due to the lack of a lift, but in the context of the site overall and the need to avoid harm to existing residents, the size of the units and the requirement to give the provision of new housing significant weight, the lack of private amenity space for some of the flats and lack of a lift is not considered to be unacceptable.
- 11.2 Impact on occupiers of existing flats would be acceptable in respect of overlooking, privacy and light.
- 11.3 Additional cycle and car parking would be provided, refuse storage would be available.
- 11.4 There would be some impact on the appearance of the immediate area as the blocks would be taller than at present and the materials to the new elements would be different, but this would not of itself cause harm and the site is spaciouly laid out in an area where buildings are of varying designs.
- 11.5 The proposal now under consideration addresses the sole reason for dismissal of the most recent appeal.
- 11.6 Taking the above into account and considering the tilted balance in favour of housing as it applies to this proposal, it is considered that the proposal meets policy requirements, and the proposal is therefore recommended for approval.



VM Zinc vertical standing seam ventilated cladding system
 Collier House Mead Lane
 Hertford
 Herts SG13 7AX
 Tel: 0203 445 5640
 Email:
 vmzinc.uk@vmbuildingsolutions.com

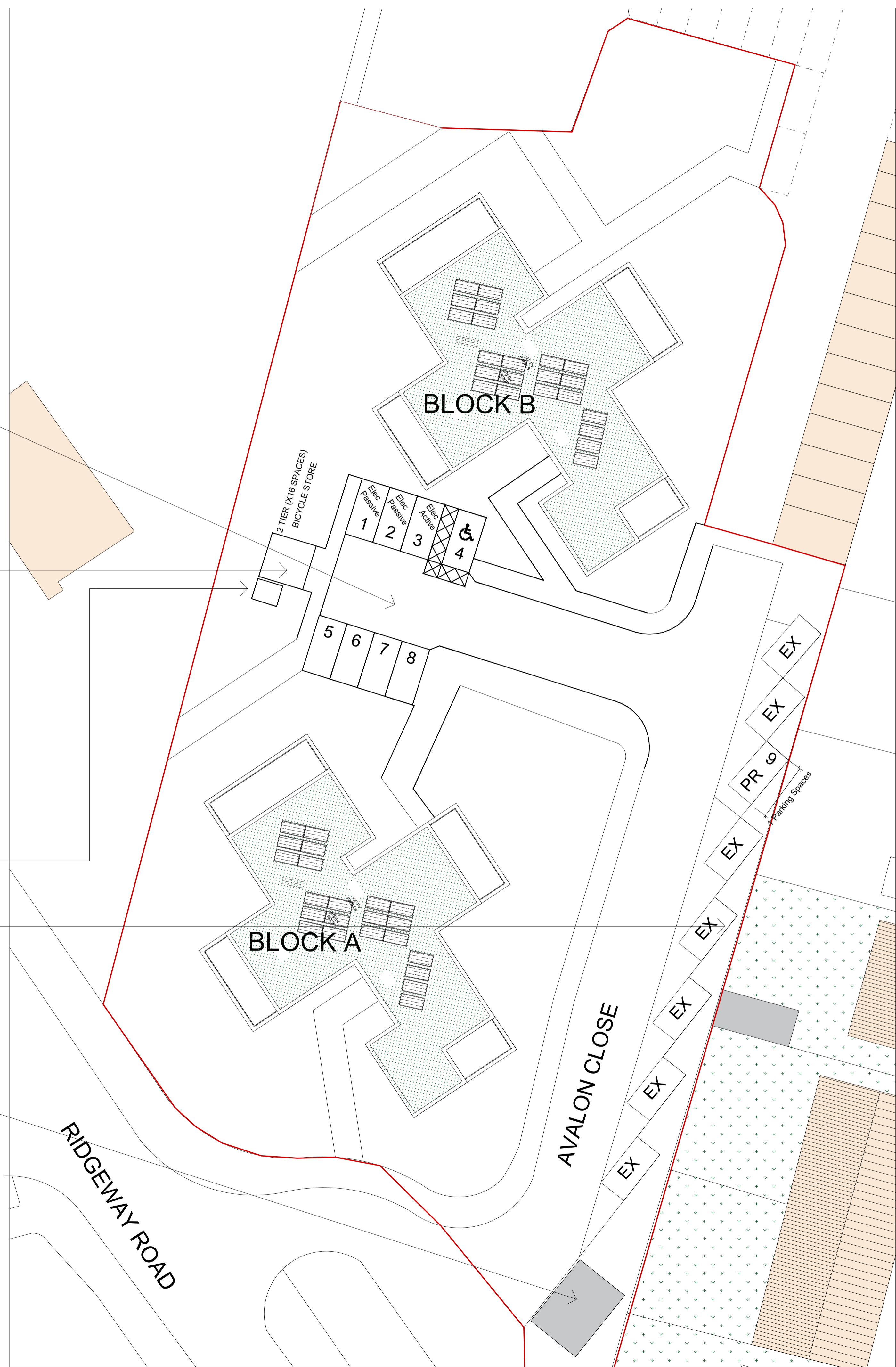
x8 NOS. NEW PARKING SPACES WITH PERMEABLE SURFACE
 PAVING TO ALLOW RAIN WATER DRAINAGE TO INCLUDE:
 x1 MARKED DISABLED SPACE AS SHOWN WITH 1.2M
 HATCHED SAFETY ZONE
 x1 ELECTRIC ACTIVE SPACE
 x2 PASSIVE ELECTRIC SPACES.

BICYCLE STORE:
 • 2 TIER LEVELS FOR X16 BIKES
 LOCKABLE TO BIKE FRAMES. JOSTA 2 TIER RACK + FULLY ENCLOSED WITHIN BICYCLE SHELTER BY CYCLE-WORKS LTD.
 TWO SHEFFIELD STANDS TO BE INCLUDED, INSTALLED BESIDE THE END OF THE BICYCLE STORE.

X2 SHORT STAY BICYCLE PARKING (SHEFFIELD STAND)

EXISTING PARKING

ADDITIONAL BINS REQUIRED FOR PROPOSED DEVELOPMENT:
 2 X 940 LTR BINS FOR GENERAL WASTE
 2 X 360 LTR BINS FOR RECYCLING WASTE.
 TO BE LOCATED WITHIN EXISTING BIN SHED.



EXISTING TIMBER SLATTED BIN STORE TO HOUSE NEW BINS

BIKE STORE OPTIONS



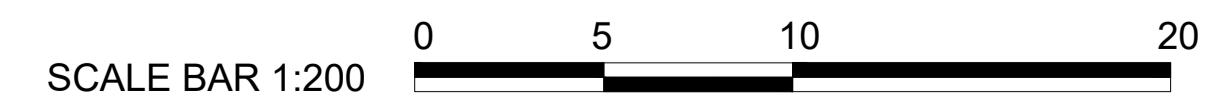
BIKE STORE OPTION 1:
 THE JOSTA® BIKESTORE 2 - 2-TIER SECURE BIKE LOCKER WITH JOSTA 2-TIER RACK WITH INDIVIDUAL CYCLE LOCKER ENCLOSURE. A MINIMUM OF 2.5M OF FREE SPACE IN FRONT OF THE DOORS IS RECOMMENDED. GALVANISED OR POWDER COATED MILD STEEL - OTHER COLOURS AVAILABLE.
 HEIGHT: 2550MM
 WIDTH: 850MM
 DEPTH: 2050MM



BIKE STORE OPTION 2:
 CW HIGHER SOLENT BIKE SHELTERS MADE OF GALVANISED AND POWDER COATED MILD STEEL, CLADDING MANUFACTURED FROM 5MM UV STABLE, SHATTERPROOF, IMPACT-RESISTANT AND NONCOMBUSTIBLE TRANSLUCENT PET MATERIAL. ALL STANDARD RAL AND BS COLOURS ARE AVAILABLE, GALVANISED FINISH AS SHOWN PROPOSED.
 HEIGHT: 2750MM,
 DEPTH: 2300MM,
 LENGTH: AS REQUIRED



2 NOS. SHEFFIELD STANDS TO BE LOCATED ADJACENT END OF BICYCLE STORE (SHORT STAY VISITOR)



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Rev:	Description:	Date:
A	removal of high level celestial windows	09/06/21

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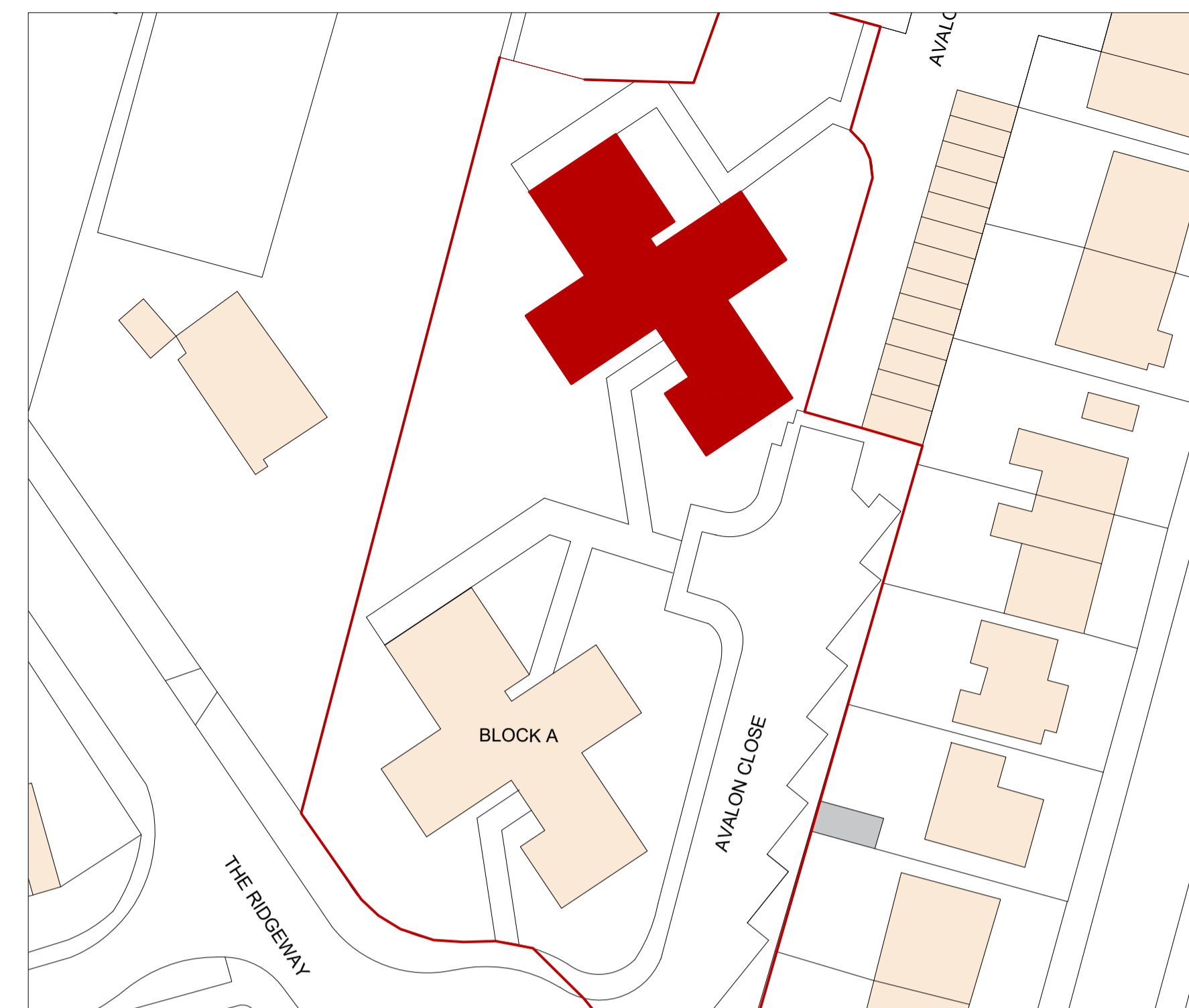
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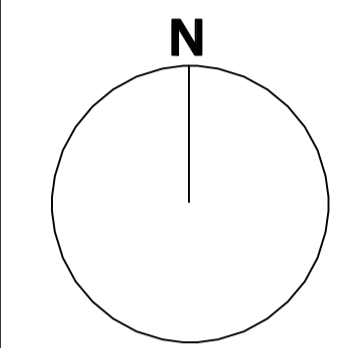
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Date:	Drawing Status:
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Drawing Number:	Revision
SE 1596 - 16/P1	A
Scale:	Drawn By:
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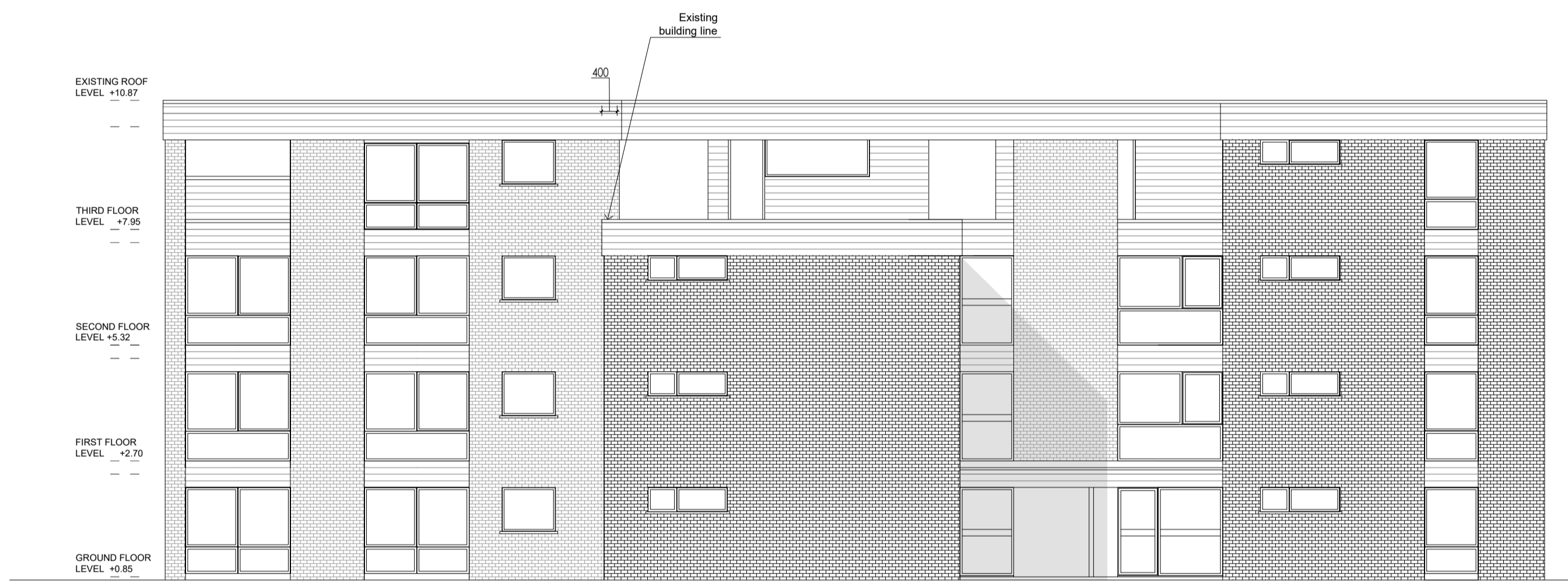
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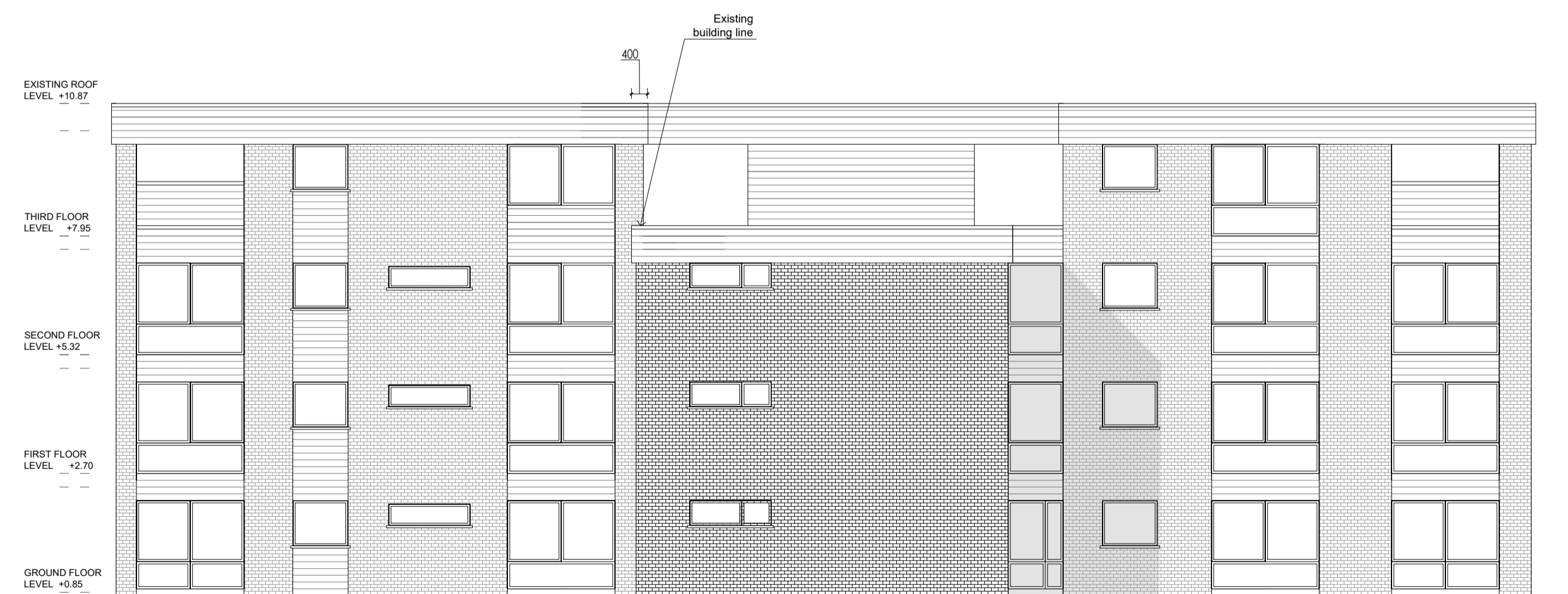
Rev:	Description:	Date:
A	Building line annotation	30/06/21
B	amendment to communal hallway & annotation of existing heights	10/05/23



1 Existing South-West Elevation
Scale 1:100



2 Existing South-East Elevation
Scale 1:100



3 Existing North-East Elevation
Scale 1:100



4 Existing North-West Elevation
Scale 1:100



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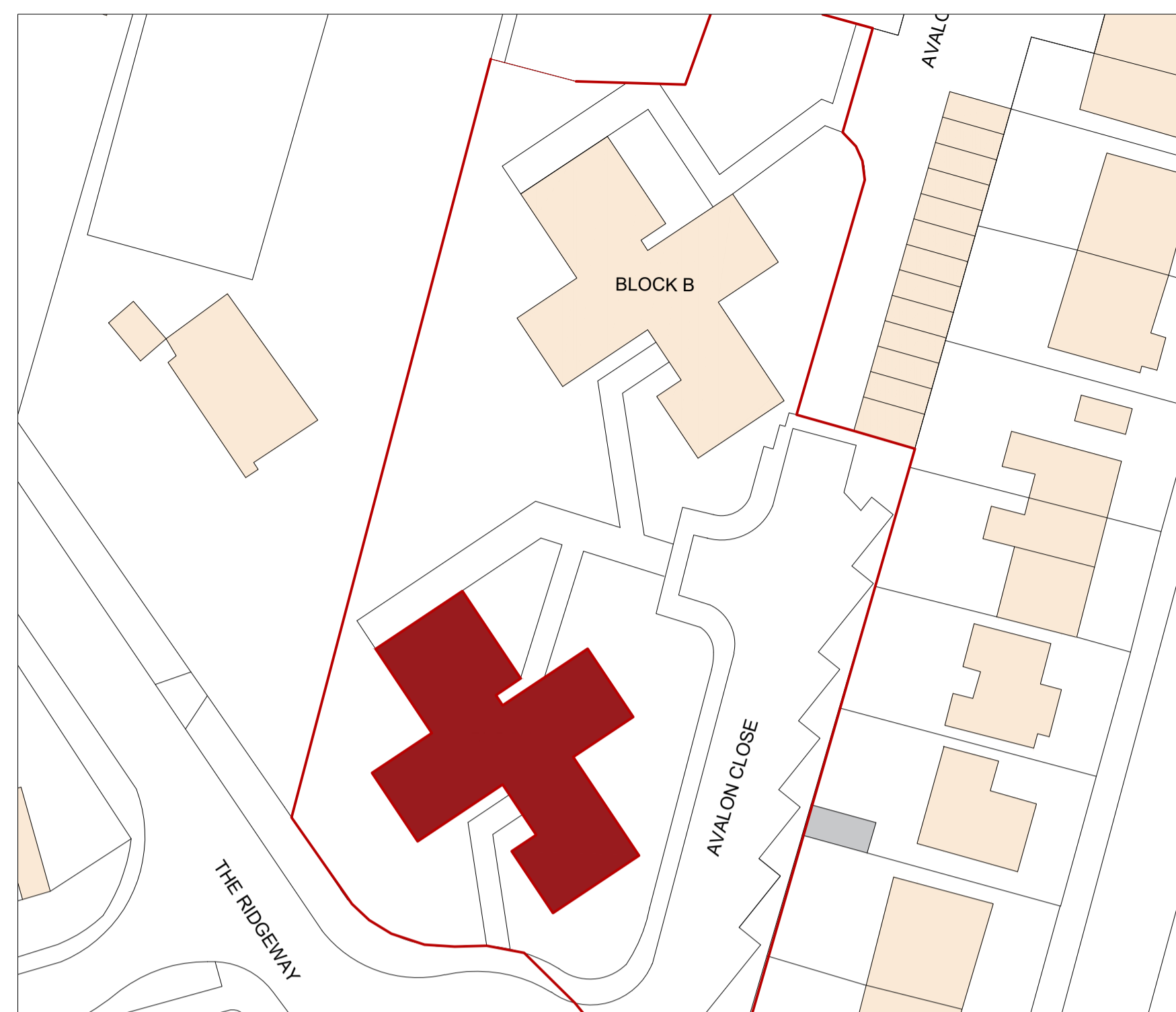
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Drawing Title:
Existing Elevations BLOCK A

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Drawing Number:	Revision
SE 1596 - 04/P1	B
Scale:	Drawn By:
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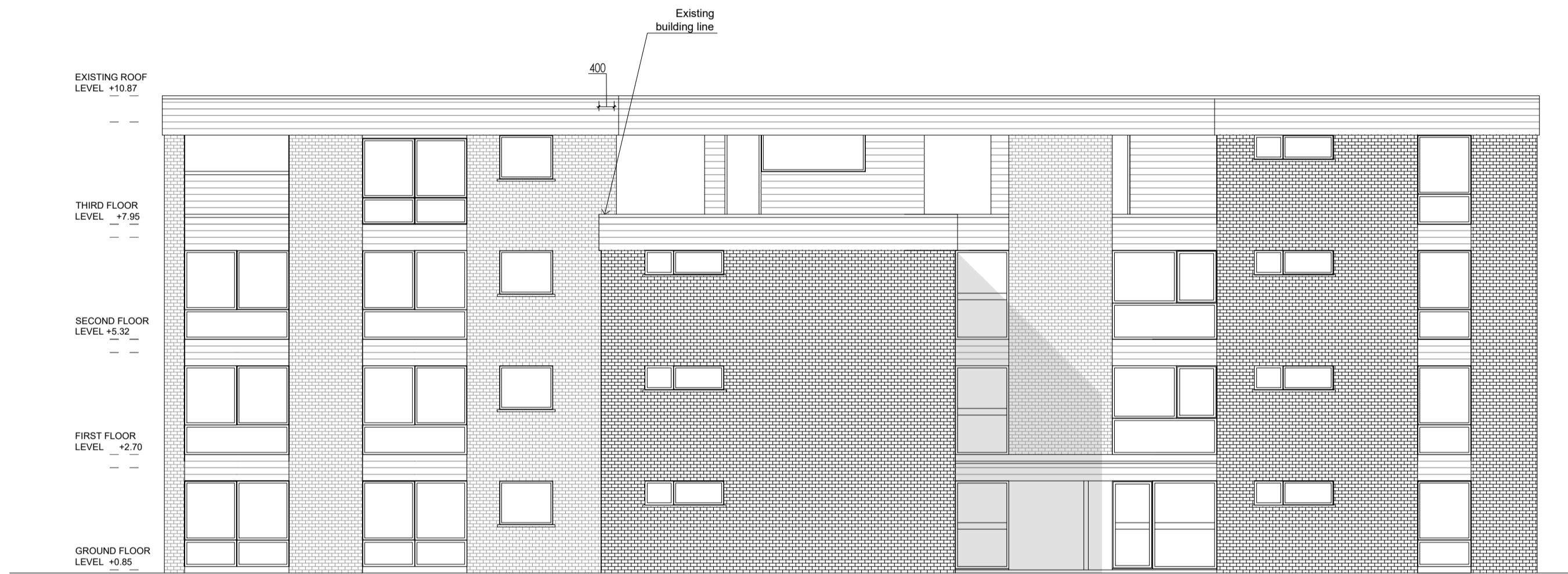


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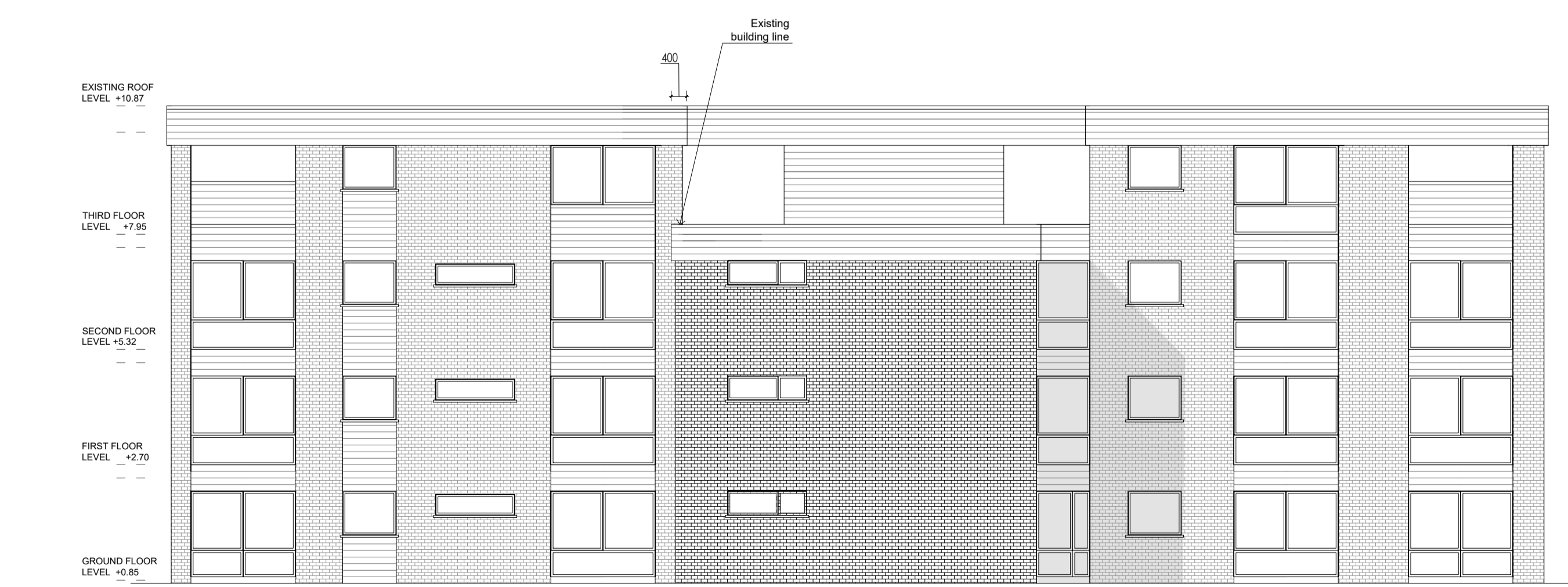
Rev:	Description:	Date:
A	Building line annotation	30/06/21
B	amendment to communal hallway & annotation of existing heights	10/05/23



1 Existing South-West Elevation
Scale 1:100



2 Existing South-East Elevation
Scale 1:100



3 Existing North-East Elevation
Scale 1:100



4 Existing North-West Elevation
Scale 1:100



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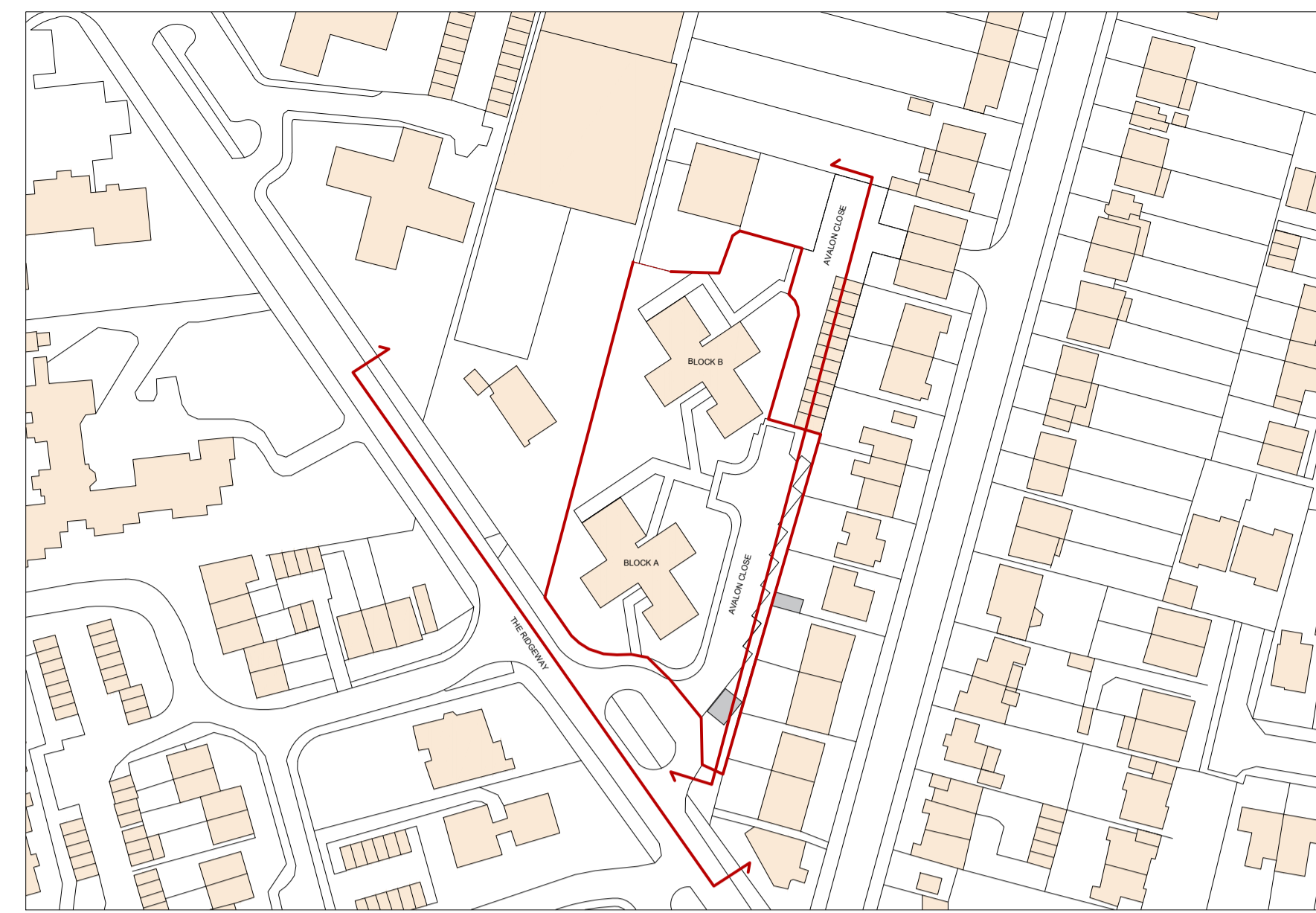
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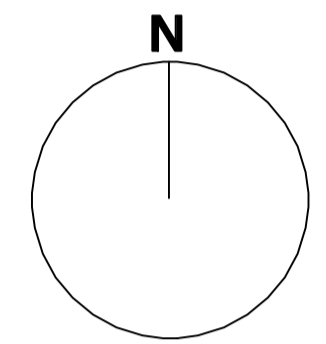
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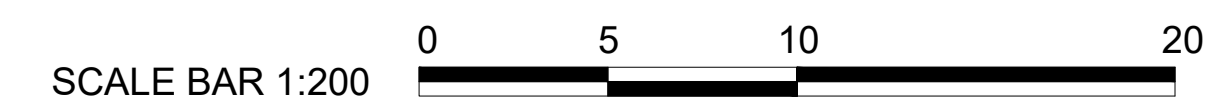
Rev:	Description:	Date:
A	amendment to communal hallway & annotation of existing heights	10/05/23



1 Existing Streetscene From The Ridgeway Road Scale 1:200



2 Existing Streetscene From The Avalon Close Scale 1:200



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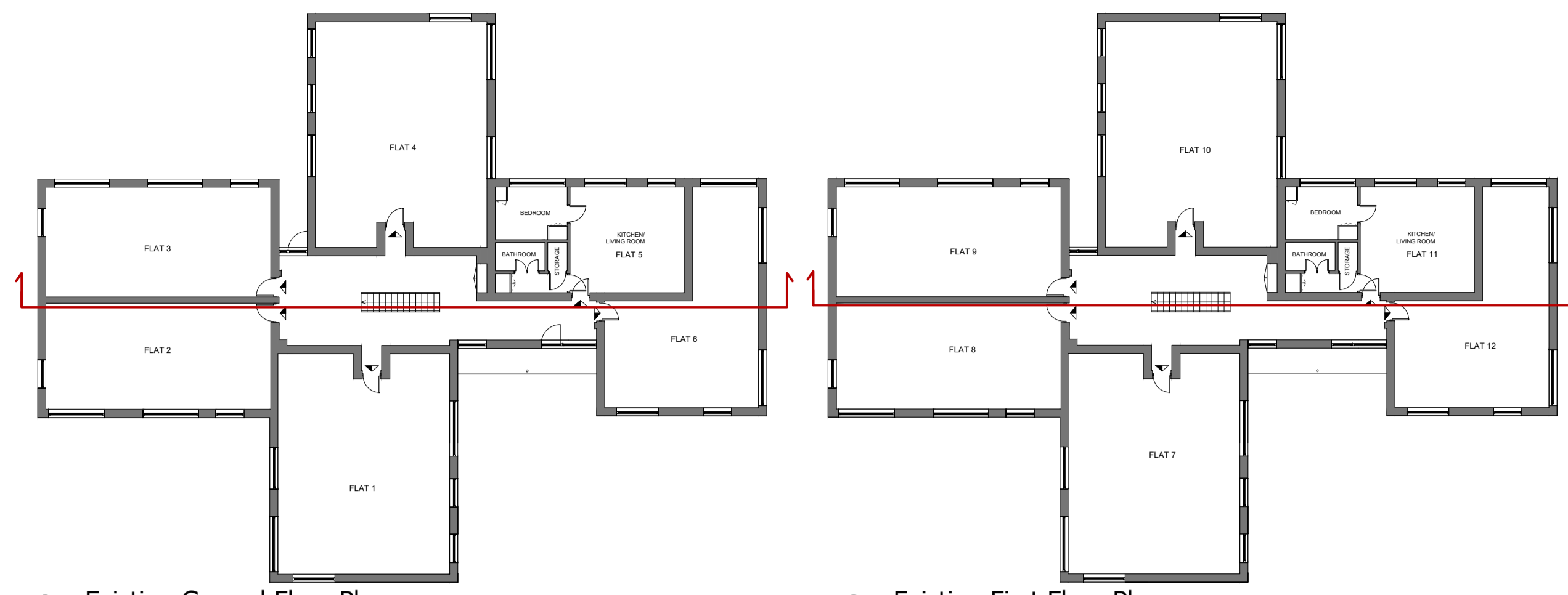
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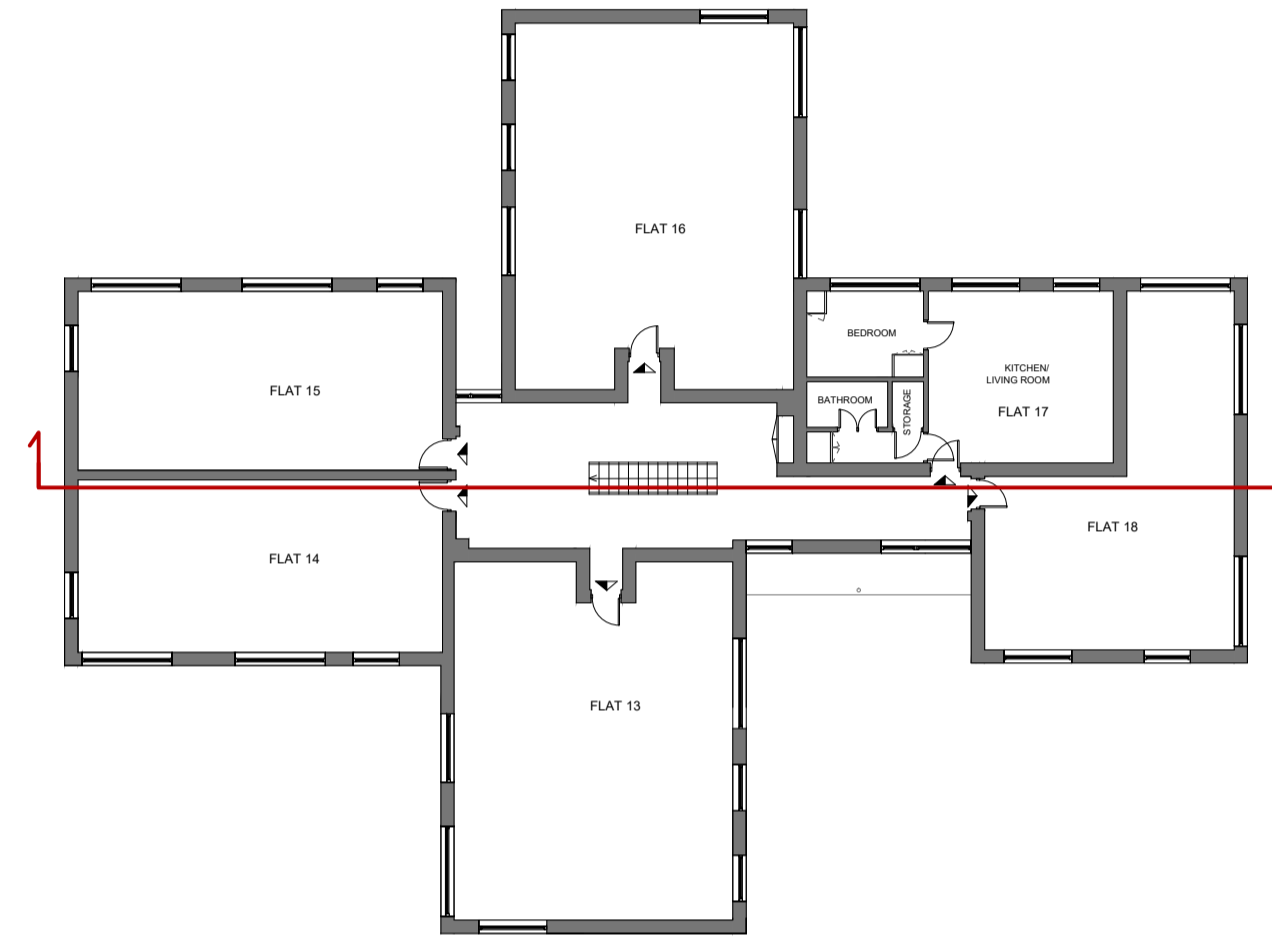
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EX STREET ELEVATION

Date:	Drawing Status:
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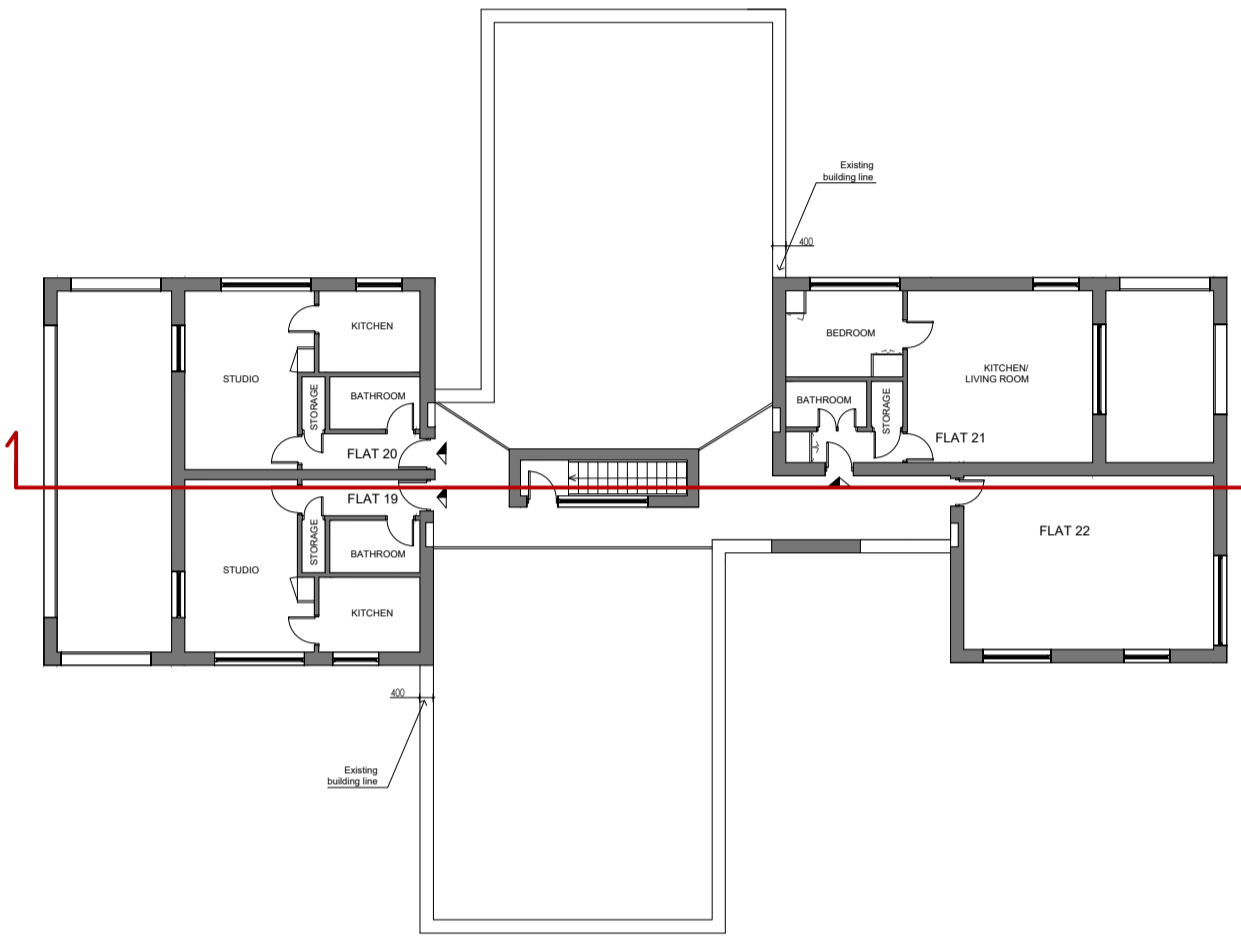


1 Existing Ground Floor Plan Scale 1:200

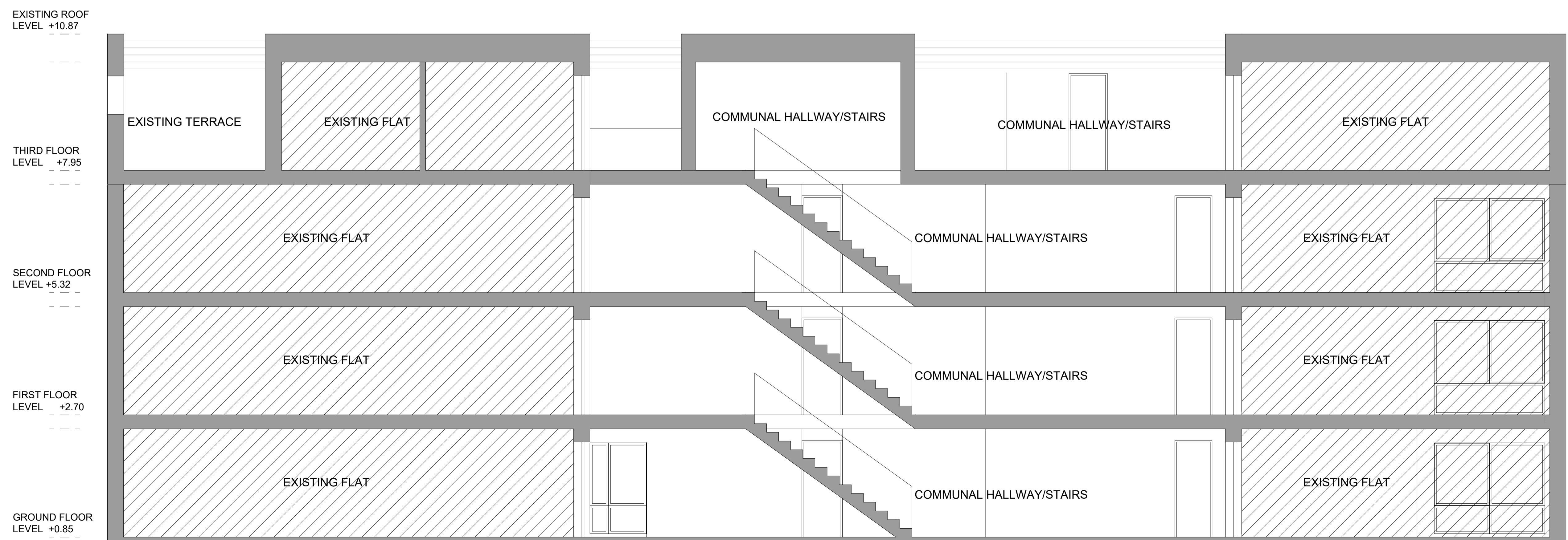
2 Existing First Floor Plan Scale 1:200



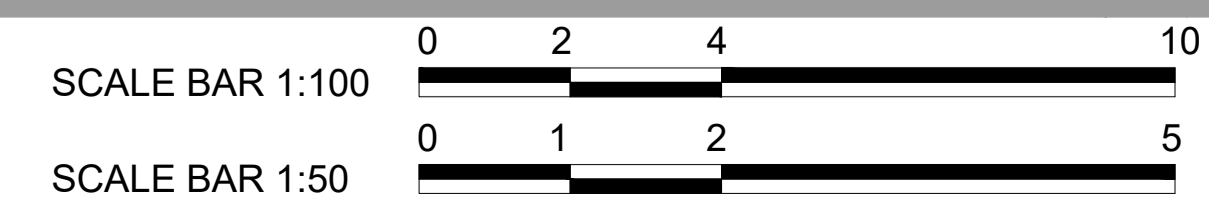
3 Existing Second Floor Plan Scale 1:100



4 Existing Third Floor Plan Scale 1:100



5 Existing Section AA Scale 1:50



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A	amendment to communal hallway & annotation of existing heights	10/05/23

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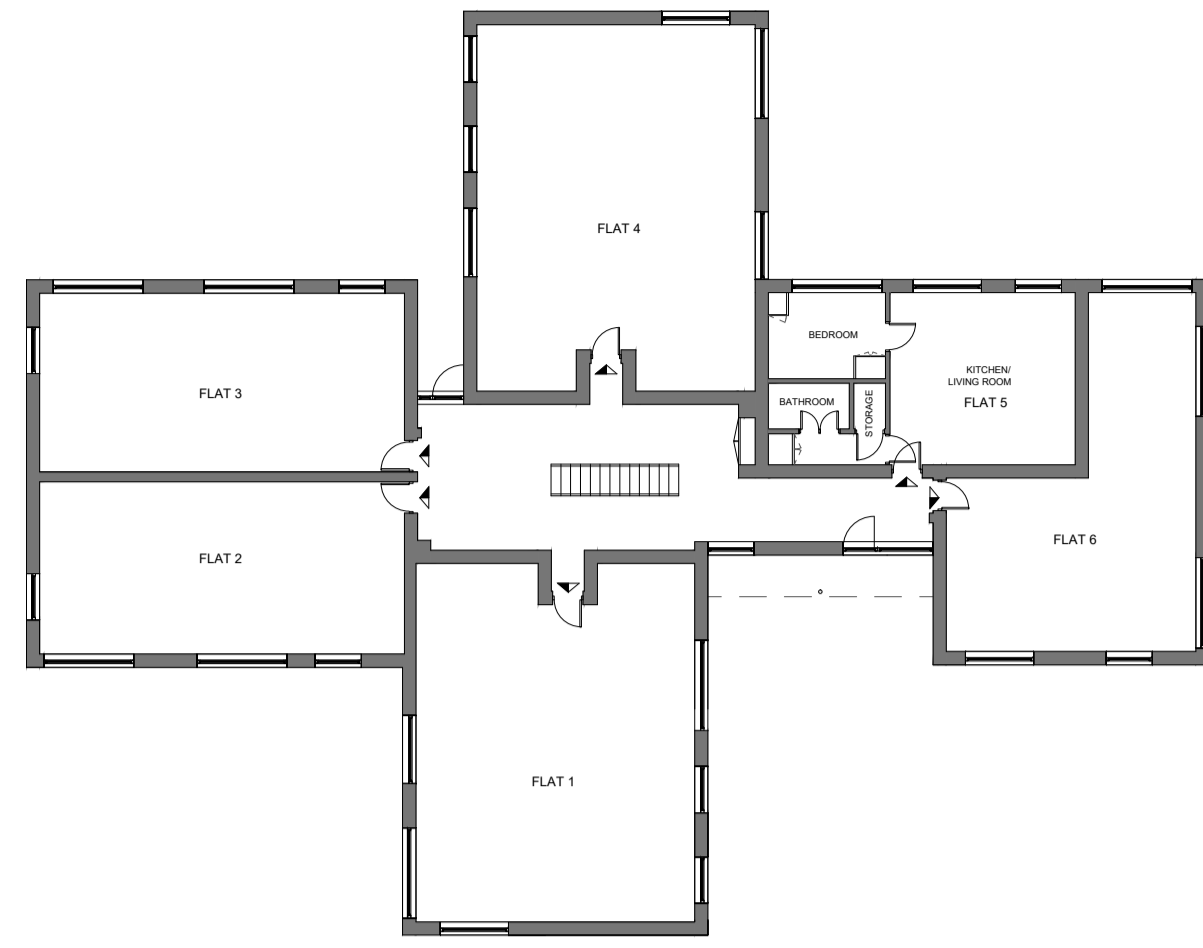
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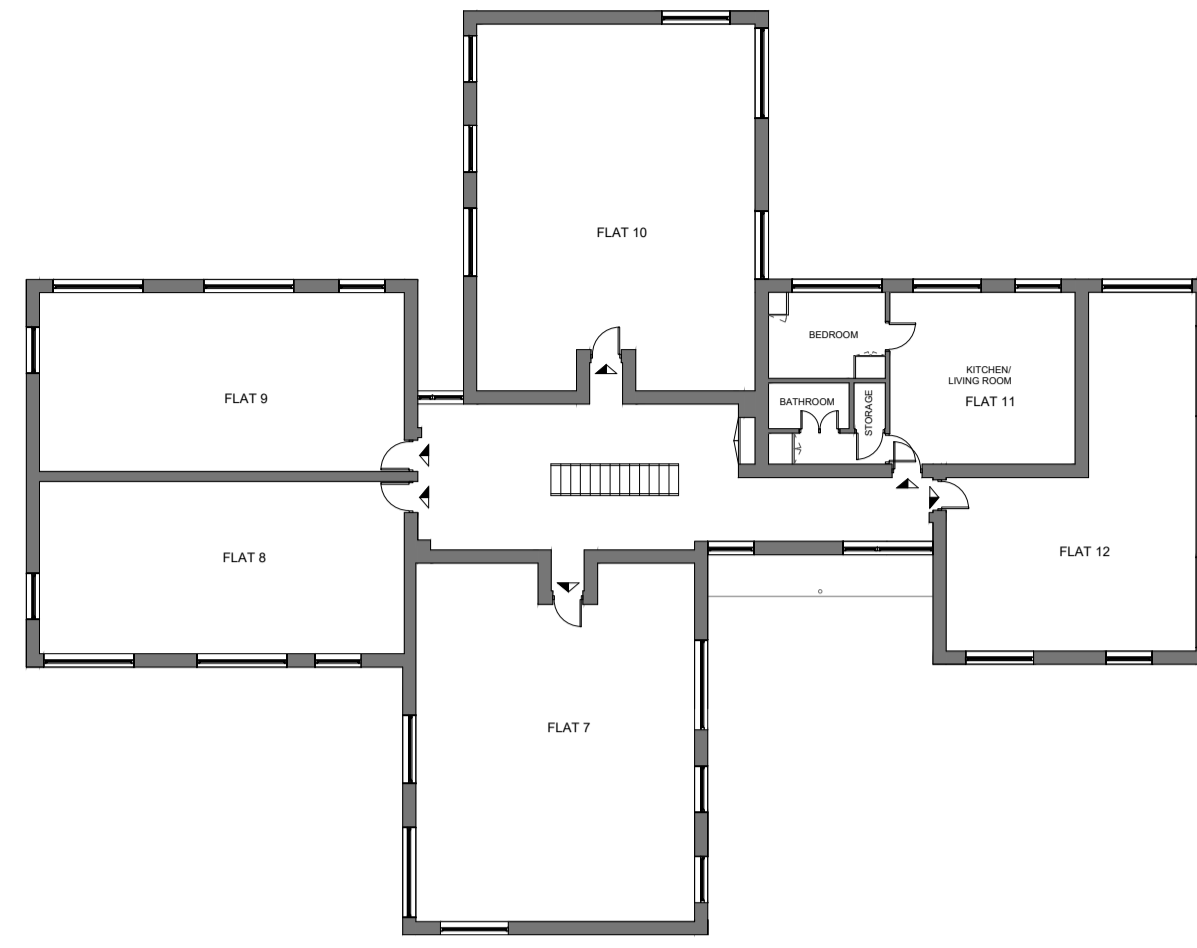
Project:
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Drawing Title:
Existing Section AA BLOCK A & B

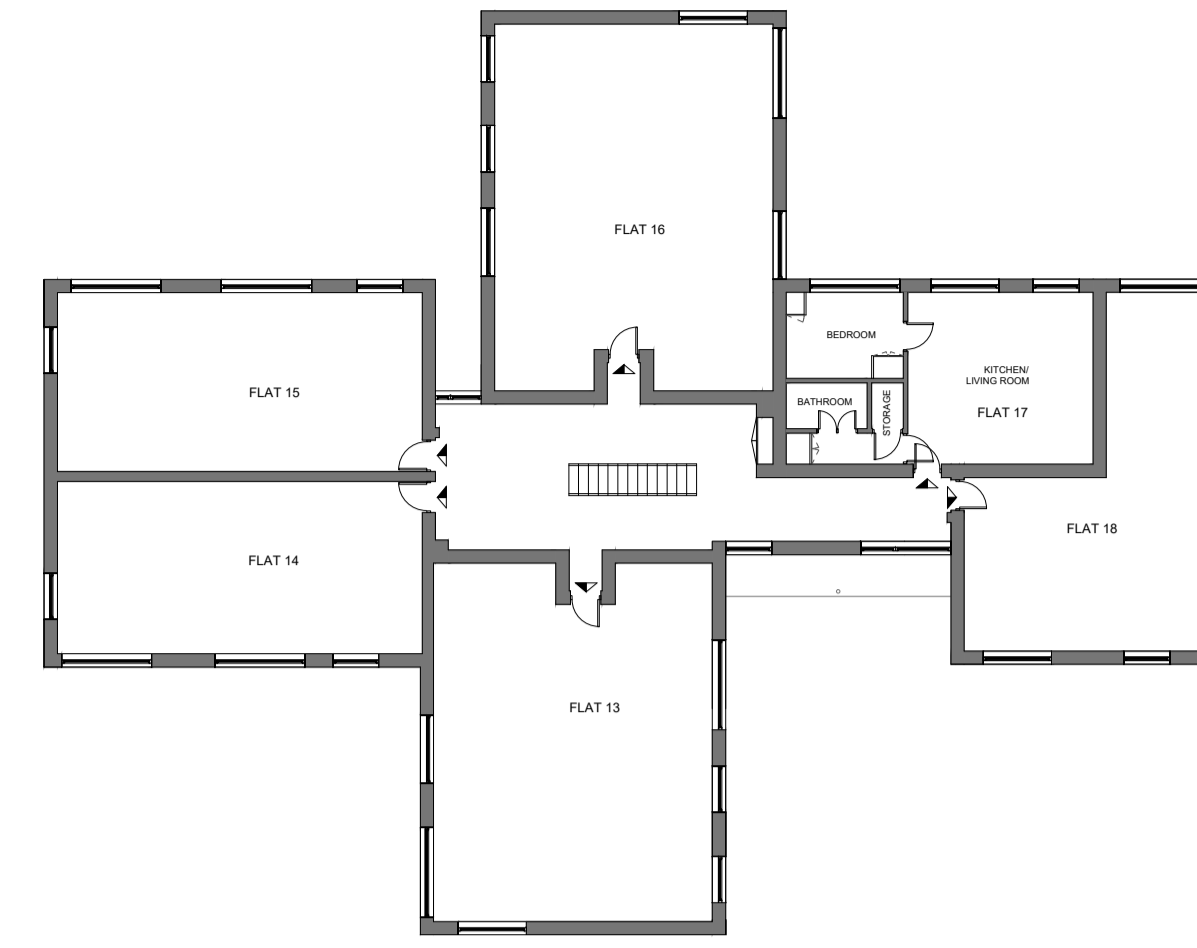
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SE 1596 - 09/P1	A
Scale:	Drawn By:
1:50 @ A1 1:100 @ A1	SF



1 Proposed Ground Floor Plan (as existing) Scale 1:200



2 Proposed First Floor Plan (as existing) Scale 1:200



3 Proposed Second Floor Plan (as existing) Scale 1:200

SCHEDULE OF ACCOMMODATION - BLOCK A	
FLAT 1: 2 BEDROOM, 4 PERSONS	101 SQ M (Third & Fourth Floor Maisonette)
FLAT 2: 2 BEDROOM, 4 PERSONS	100 SQ M (Third & Fourth Floor Maisonette)
FLAT 3: 1 BEDROOM, 2 PERSONS	59 SQ M
FLAT 4: 2 BEDROOM, 3 PERSONS	68 SQ M

SCHEDULE OF ACCOMMODATION - BLOCK B	
FLAT 1: 2 BEDROOM, 4 PERSONS	101 SQ M (Third & Fourth Floor Maisonette)
FLAT 2: 2 BEDROOM, 4 PERSONS	100 SQ M (Third & Fourth Floor Maisonette)
FLAT 3: 1 BEDROOM, 2 PERSONS	59 SQ M
FLAT 4: 2 BEDROOM, 3 PERSONS	68 SQ M

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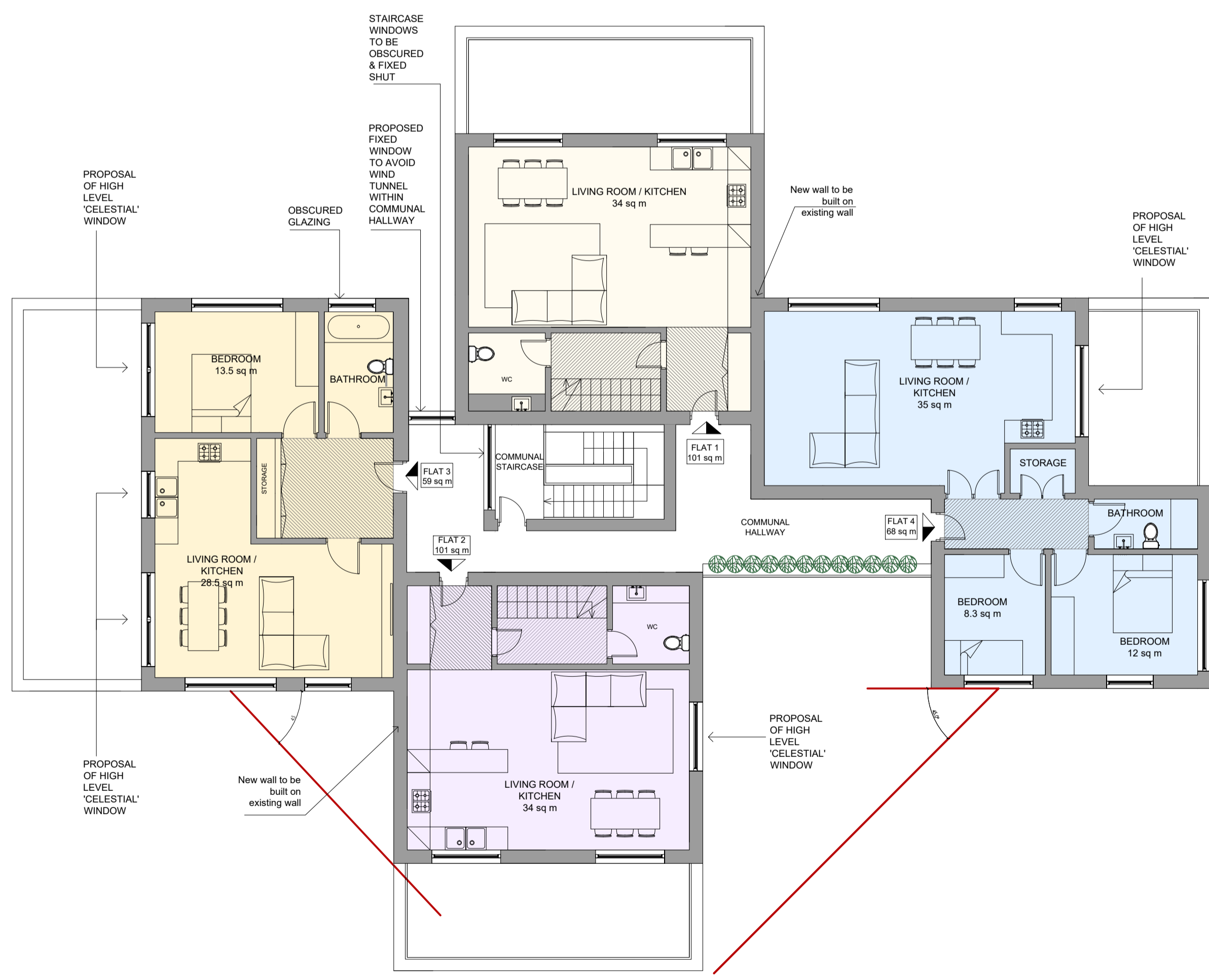
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Rev:	Description:	Date:
A	removal of high level celestial windows	09/06/21
B	Existing window amendment on plan to match elevation	30/06/21
C	Flat numbers annotation & proposed staircase amendment	06/12/22
D	Fire exit door	16/03/23



4 Proposed Third Floor Plan Scale 1:100



5 Proposed Fourth Floor Plan Scale 1:100

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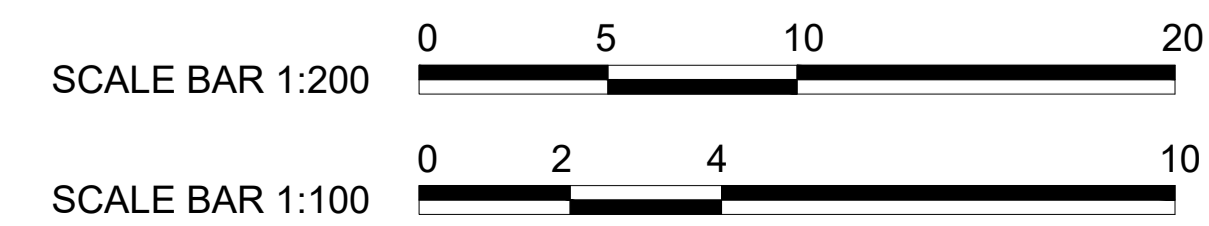
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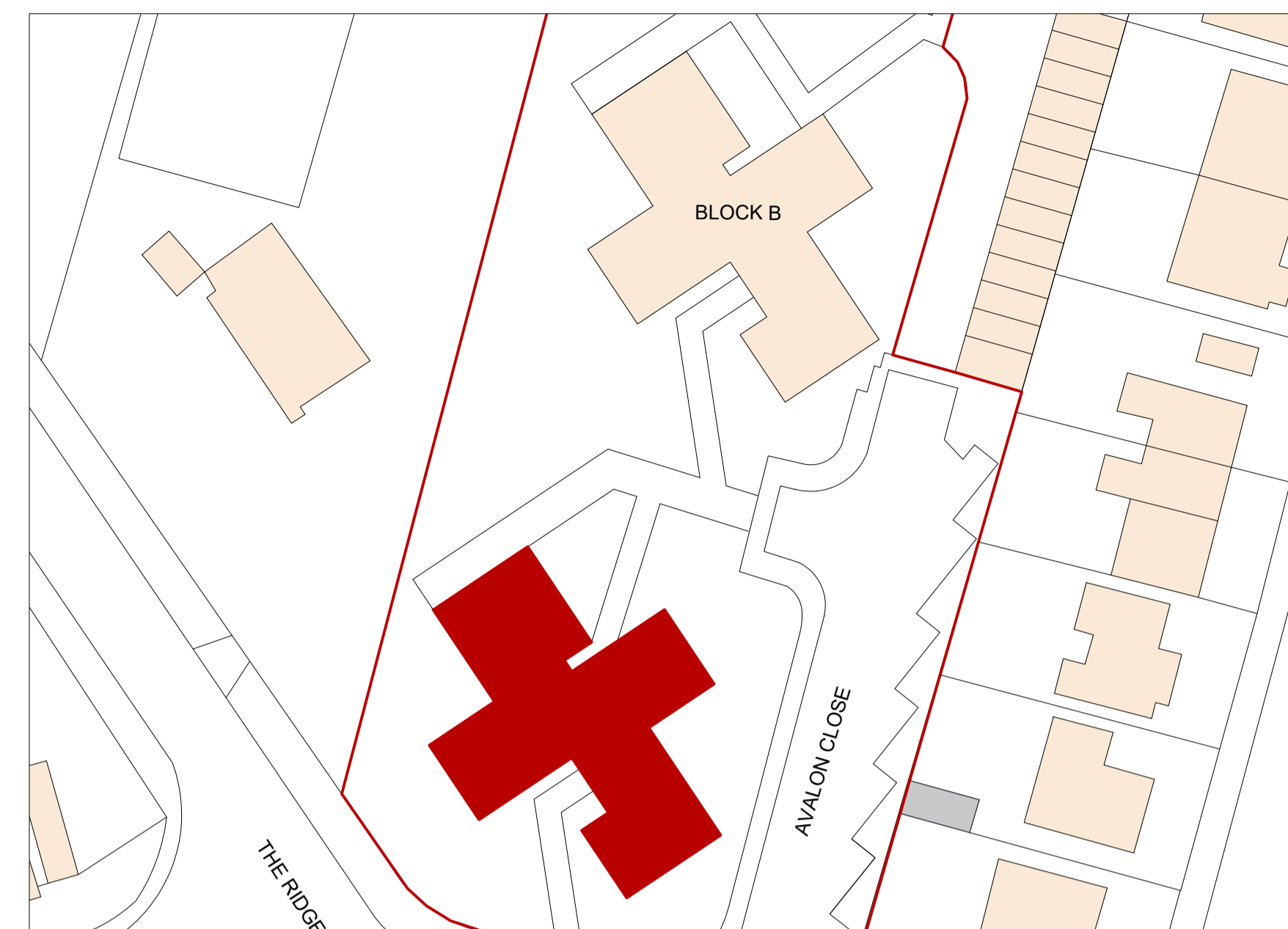
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Southern Territory

Project:
Avalon Cl,
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Drawing Title:
Proposed Plans BLOCK A

Date:	Drawing Status:
March 2021	Planning
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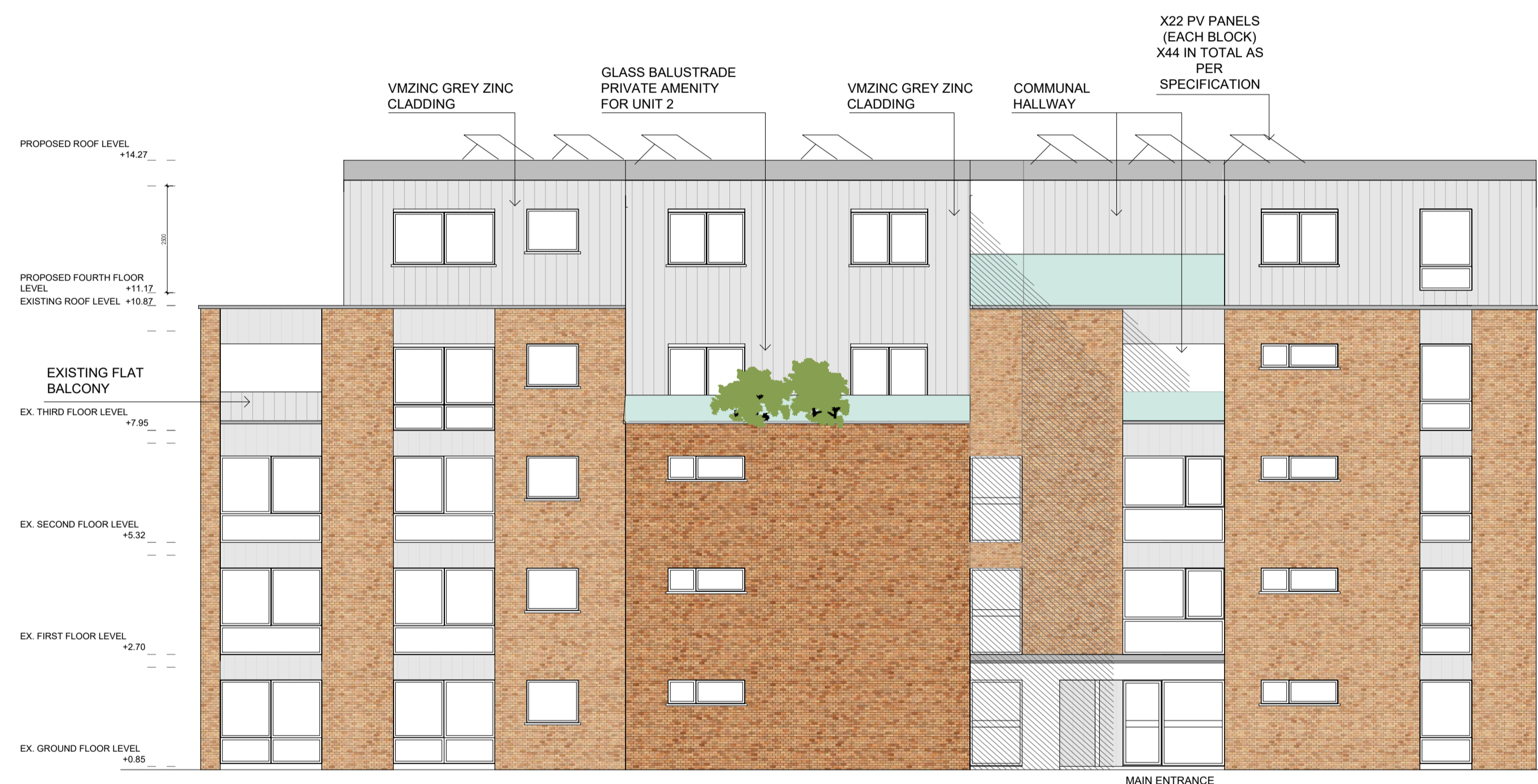
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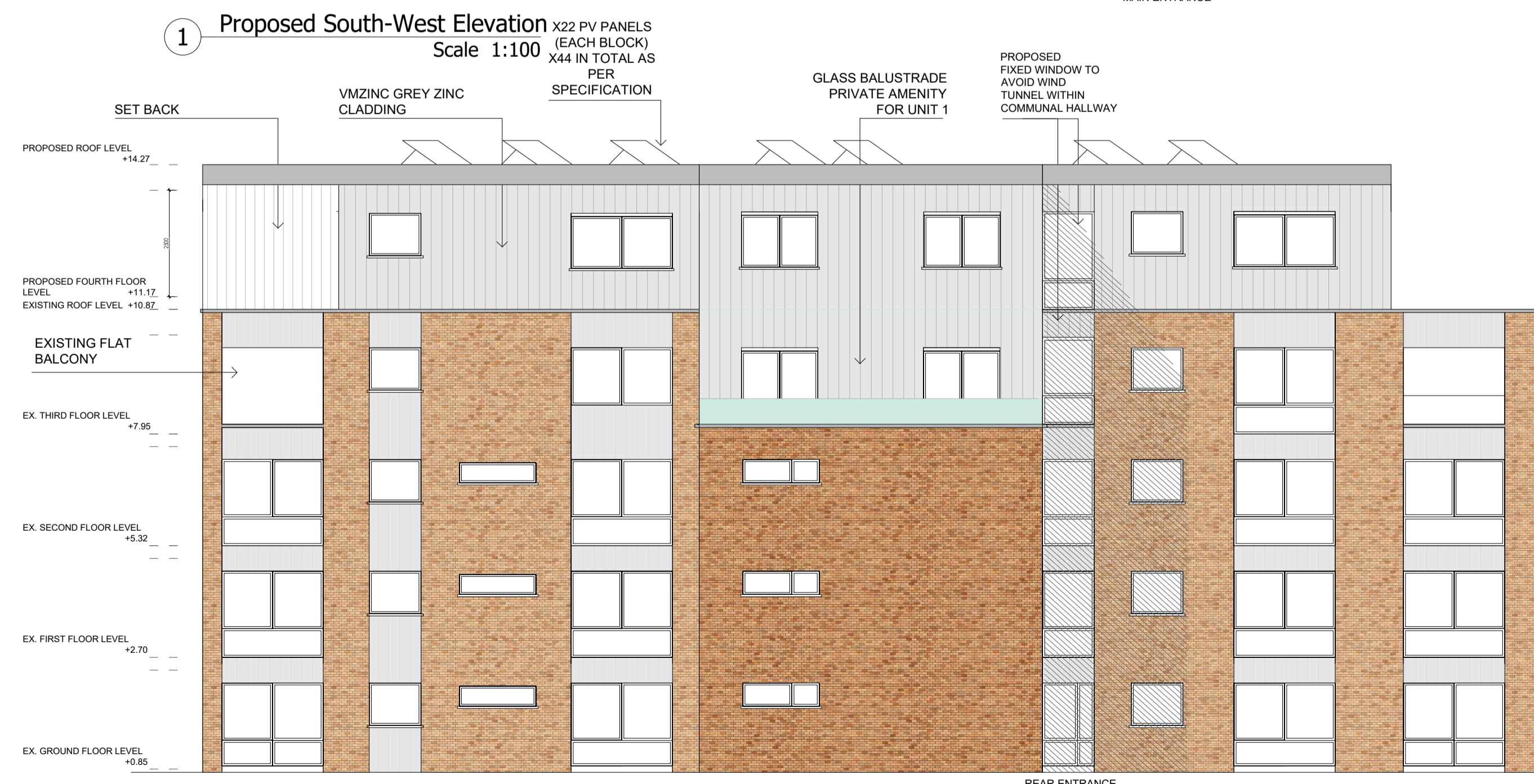
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A	removal of high level celestial windows	09/06/21
B	Existing window amendment on plan to match elevation	30/06/21
C	annotation to section heights & elevations	01/04/23



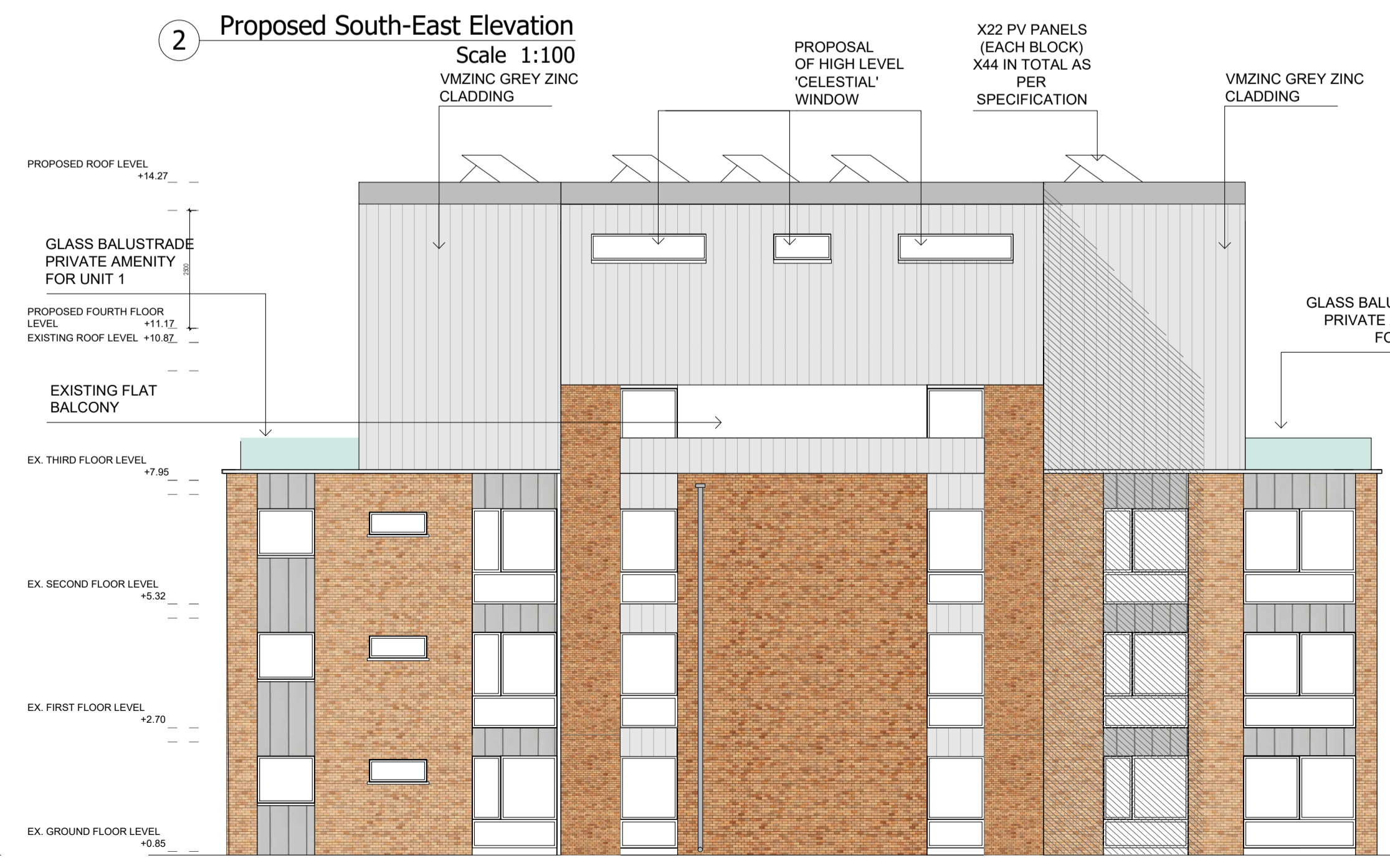
1 Proposed South-West Elevation
Scale 1:100



2 Proposed South-East Elevation
Scale 1:100



3 Proposed North-East Elevation
Scale 1:100



4 Proposed North-West Elevation
Scale 1:100



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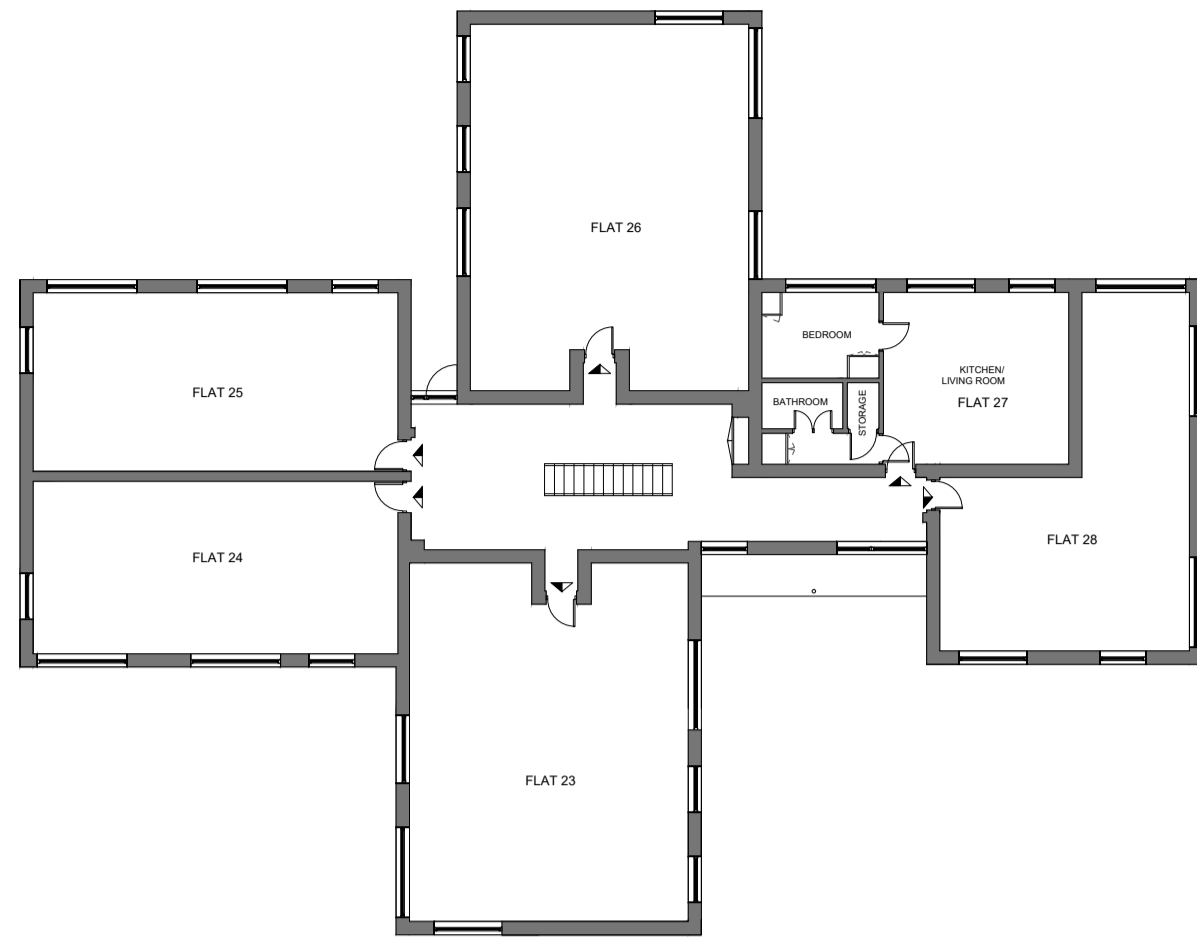
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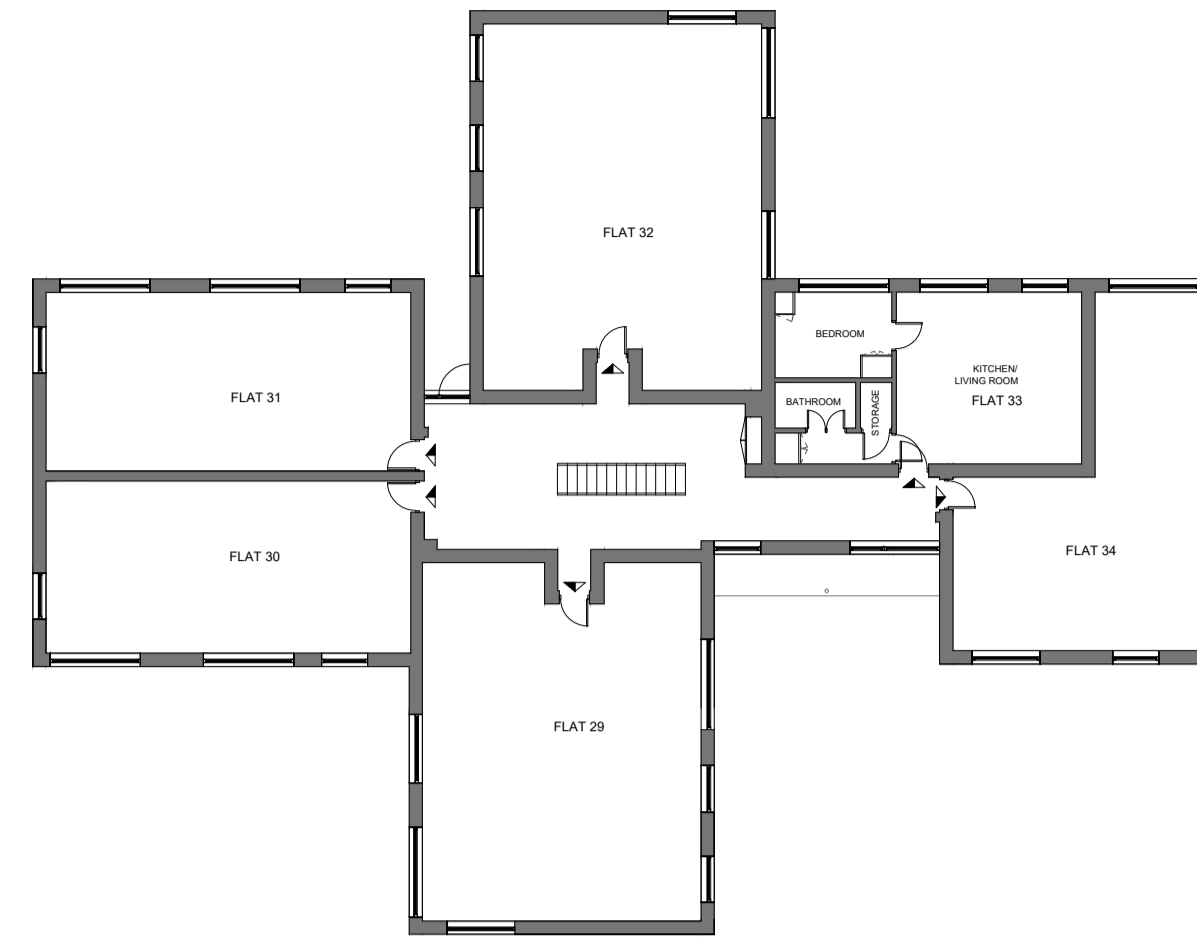
Project:
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Drawing Title:
Proposed Elevations BLOCK A

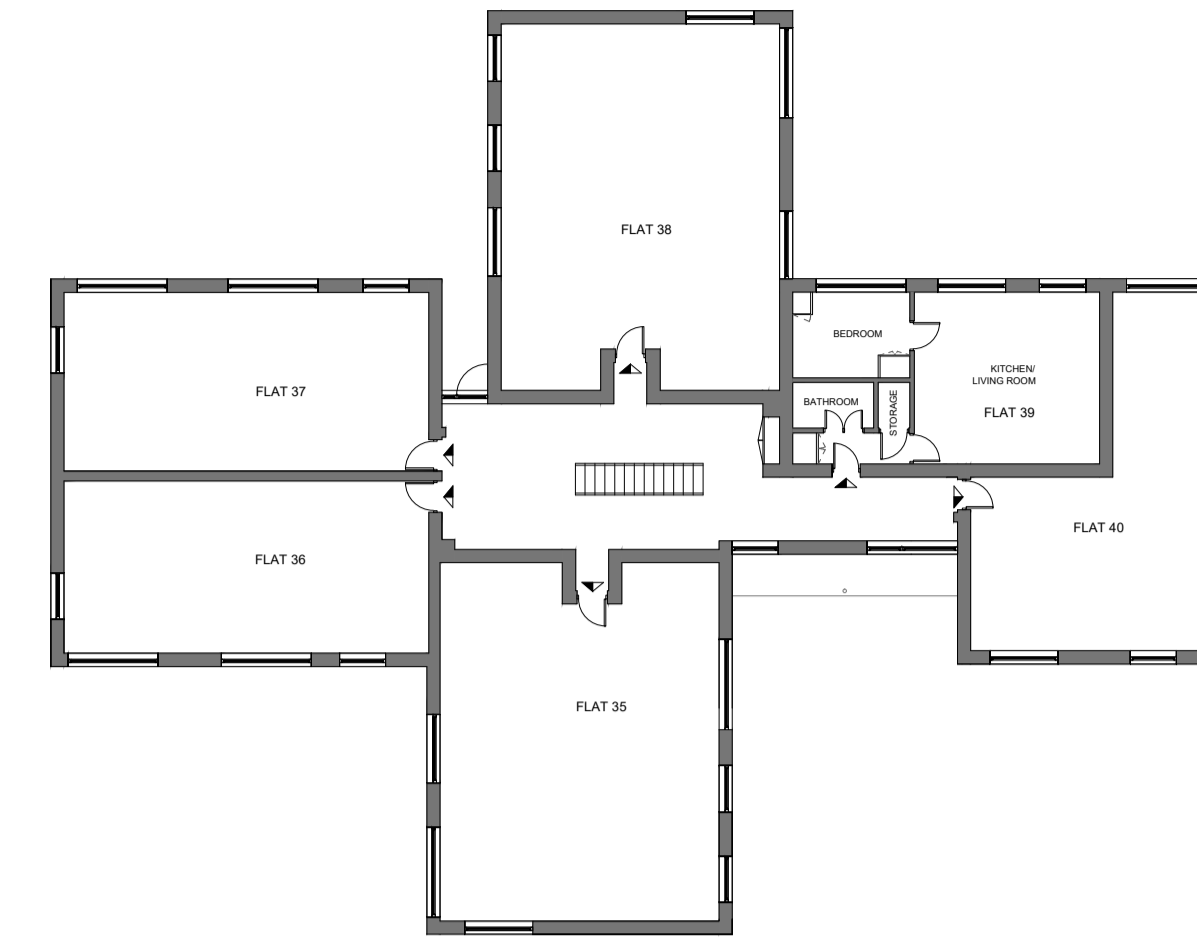
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Drawing Number:	Revision
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1 Proposed Ground Floor Plan (as existing) Scale 1:200



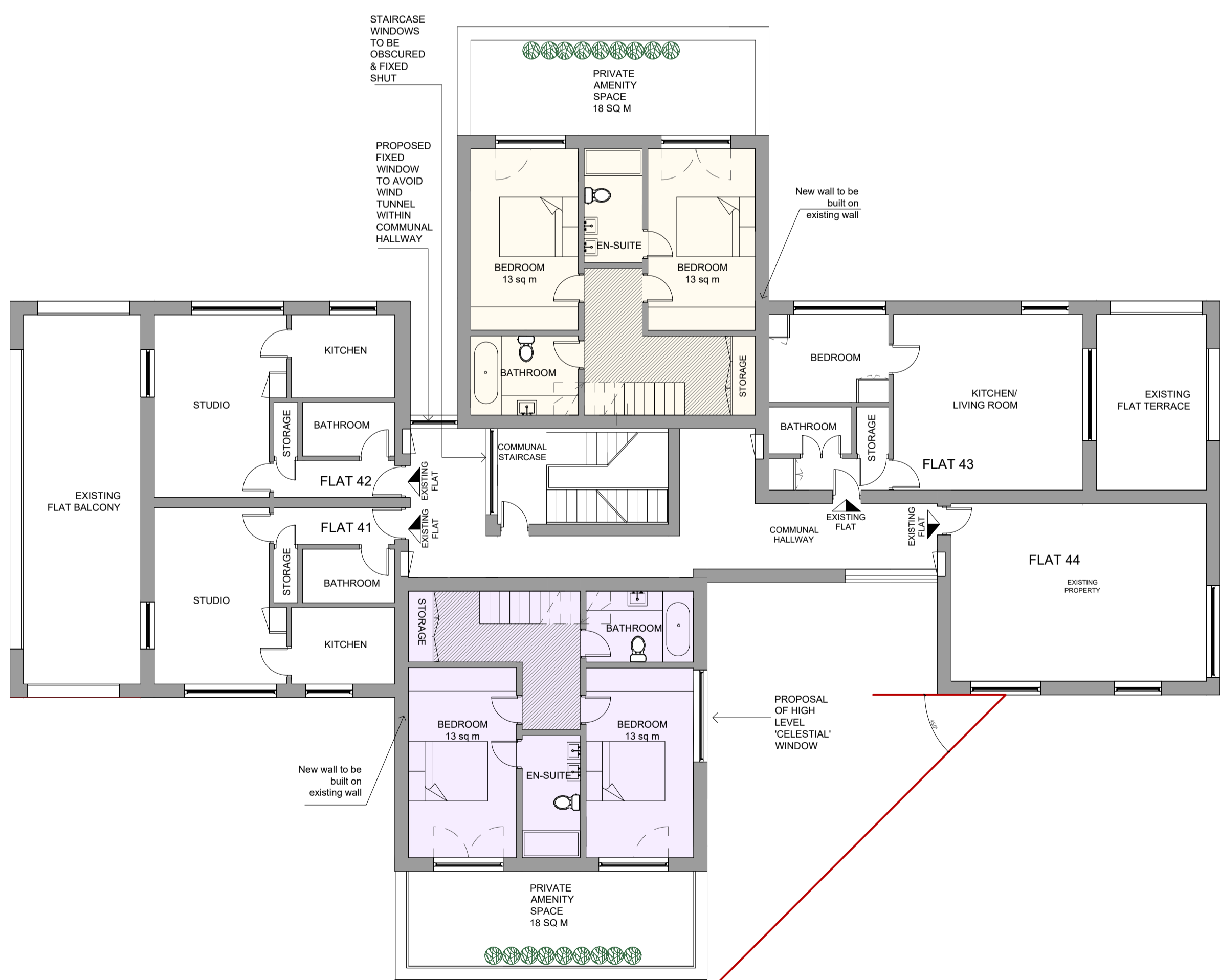
2 Proposed First Floor Plan (as existing) Scale 1:200



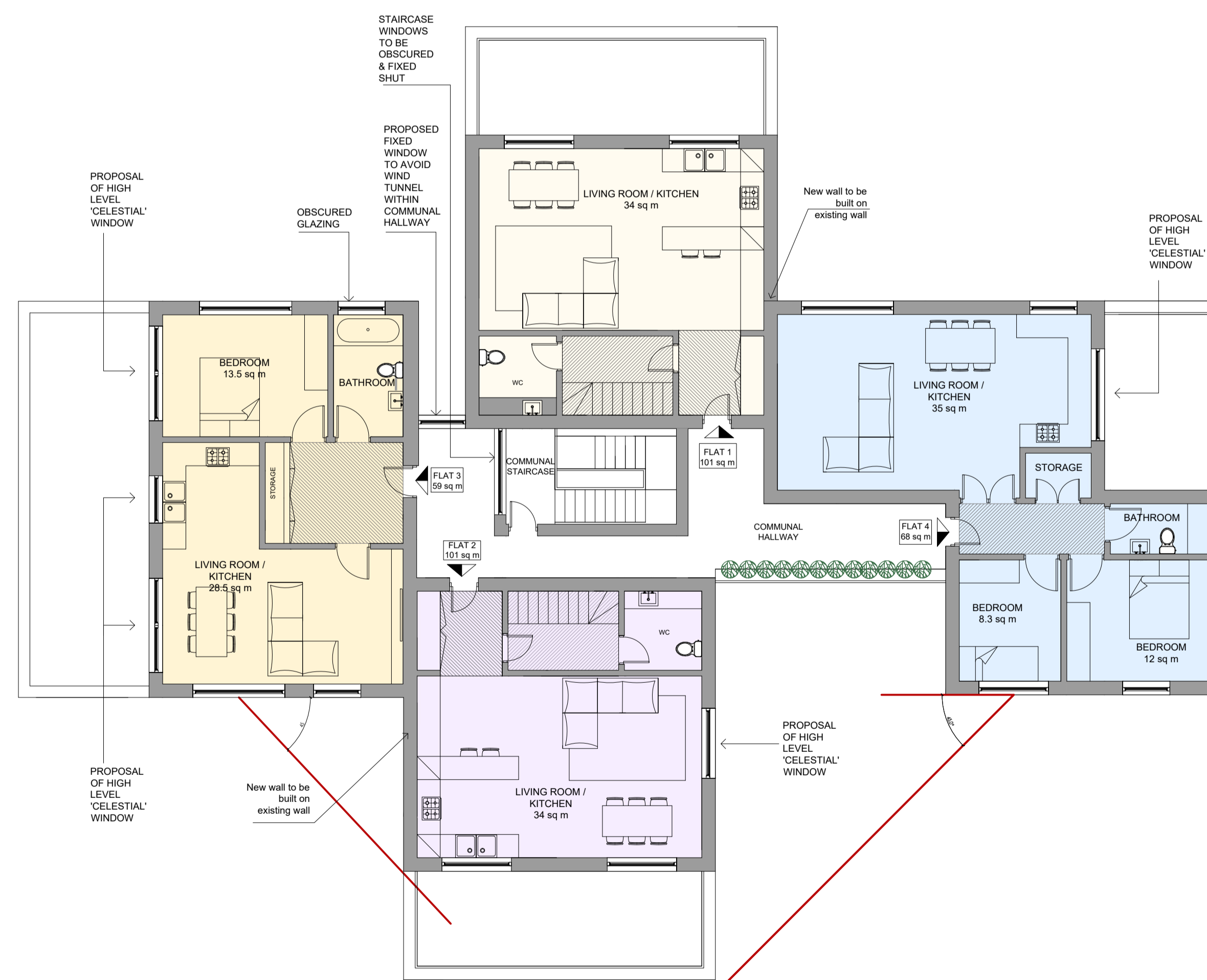
3 Proposed Second Floor Plan (as existing) Scale 1:200

SCHEDULE OF ACCOMMODATION - BLOCK A	
FLAT 1: 2 BEDROOM, 4 PERSONS	101 SQ M (Third & Fourth Floor Maisonette)
FLAT 2: 2 BEDROOM, 4 PERSONS	100 SQ M (Third & Fourth Floor Maisonette)
FLAT 3: 1 BEDROOM, 2 PERSONS	59 SQ M
FLAT 4: 2 BEDROOM, 3 PERSONS	68 SQ M

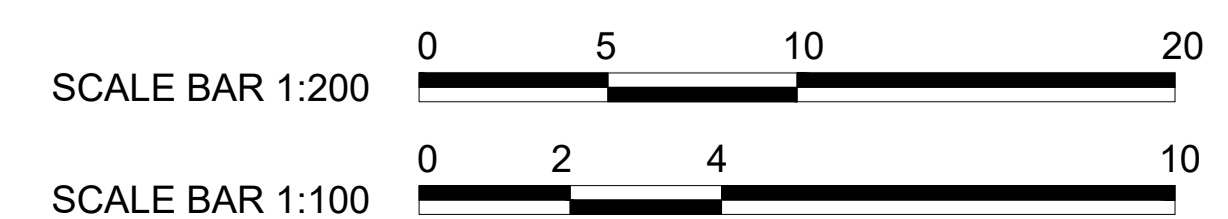
SCHEDULE OF ACCOMMODATION - BLOCK B	
FLAT 1: 2 BEDROOM, 4 PERSONS	101 SQ M (Third & Fourth Floor Maisonette)
FLAT 2: 2 BEDROOM, 4 PERSONS	100 SQ M (Third & Fourth Floor Maisonette)
FLAT 3: 1 BEDROOM, 2 PERSONS	59 SQ M
FLAT 4: 2 BEDROOM, 3 PERSONS	68 SQ M



4 Proposed Third Floor Plan Scale 1:100



5 Proposed Fourth Floor Plan Scale 1:100



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Rev:	Description:	Date:
A	removal of high level celestial windows	09/06/21
B	Existing window amendment on plan to match elevation	30/06/21
C	Flat numbers annotation & proposed staircase amendment	06/12/22
D	Fire exit door	16/03/23

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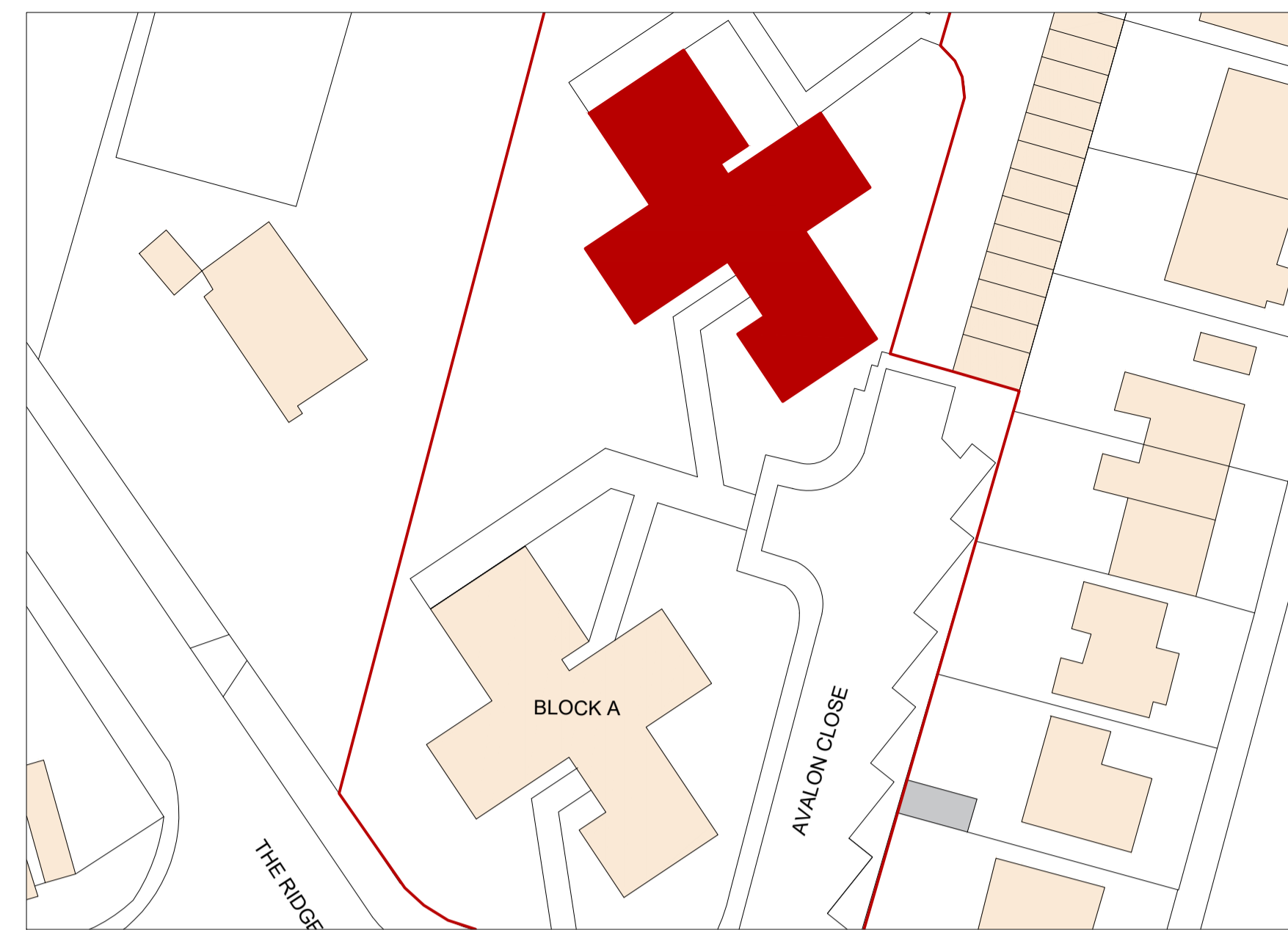
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Drawing Title:
Proposed Plans BLOCK B

Date:	Drawing Status:
March 2021	Planning
Drawing Number:	Revision
SE 1596 - 12/P1	D
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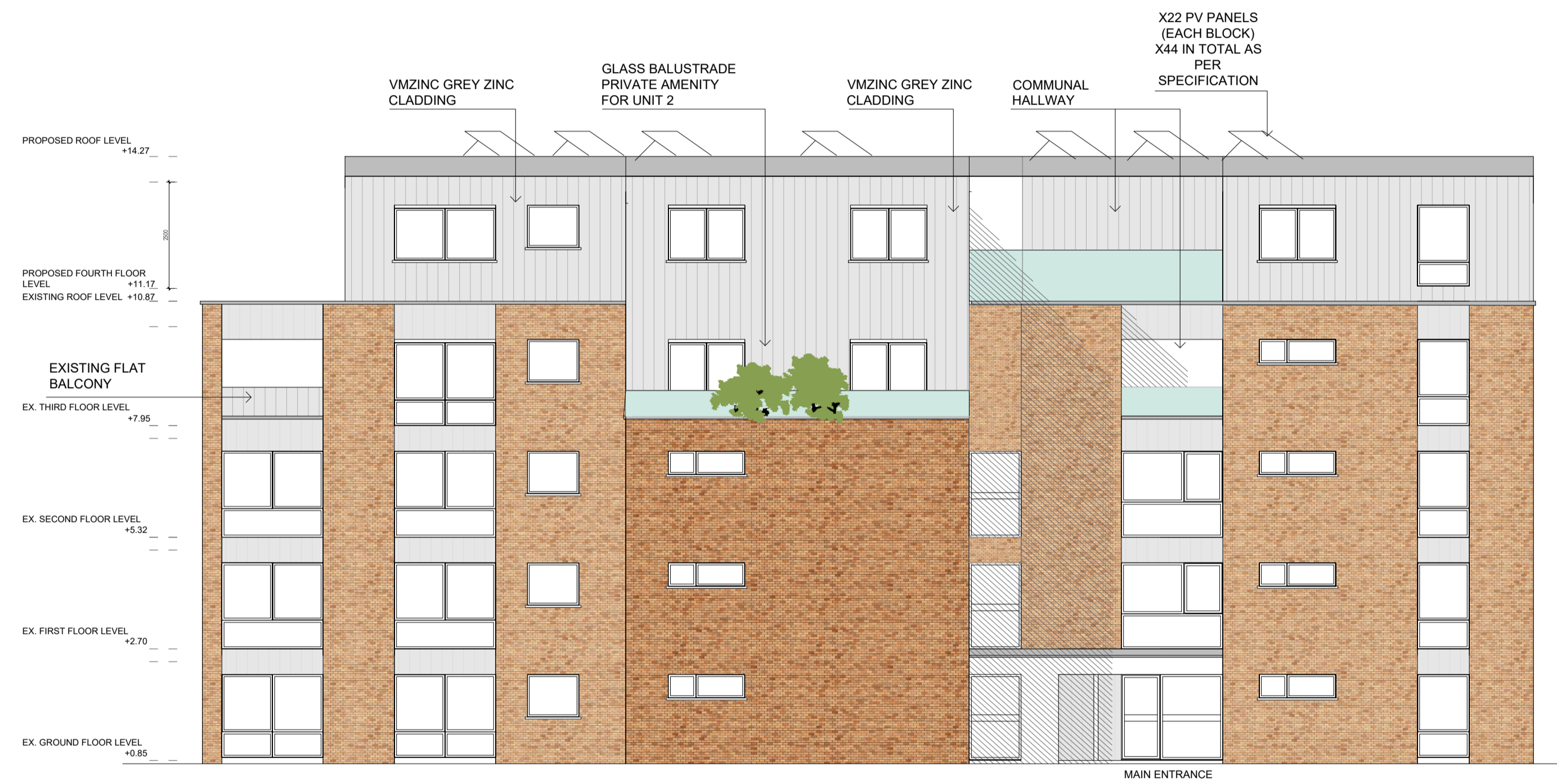


0 Proposed Reference Plan

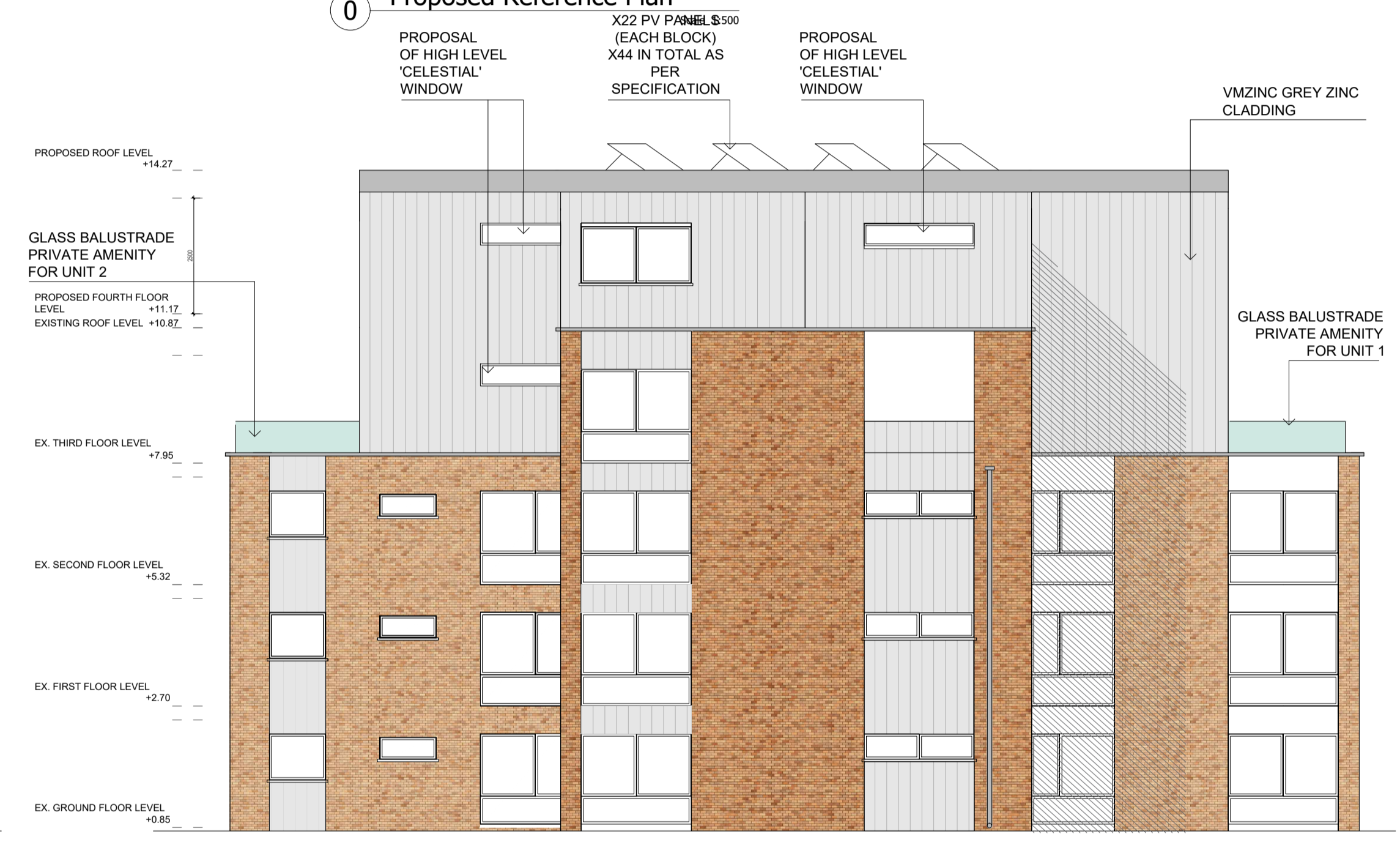
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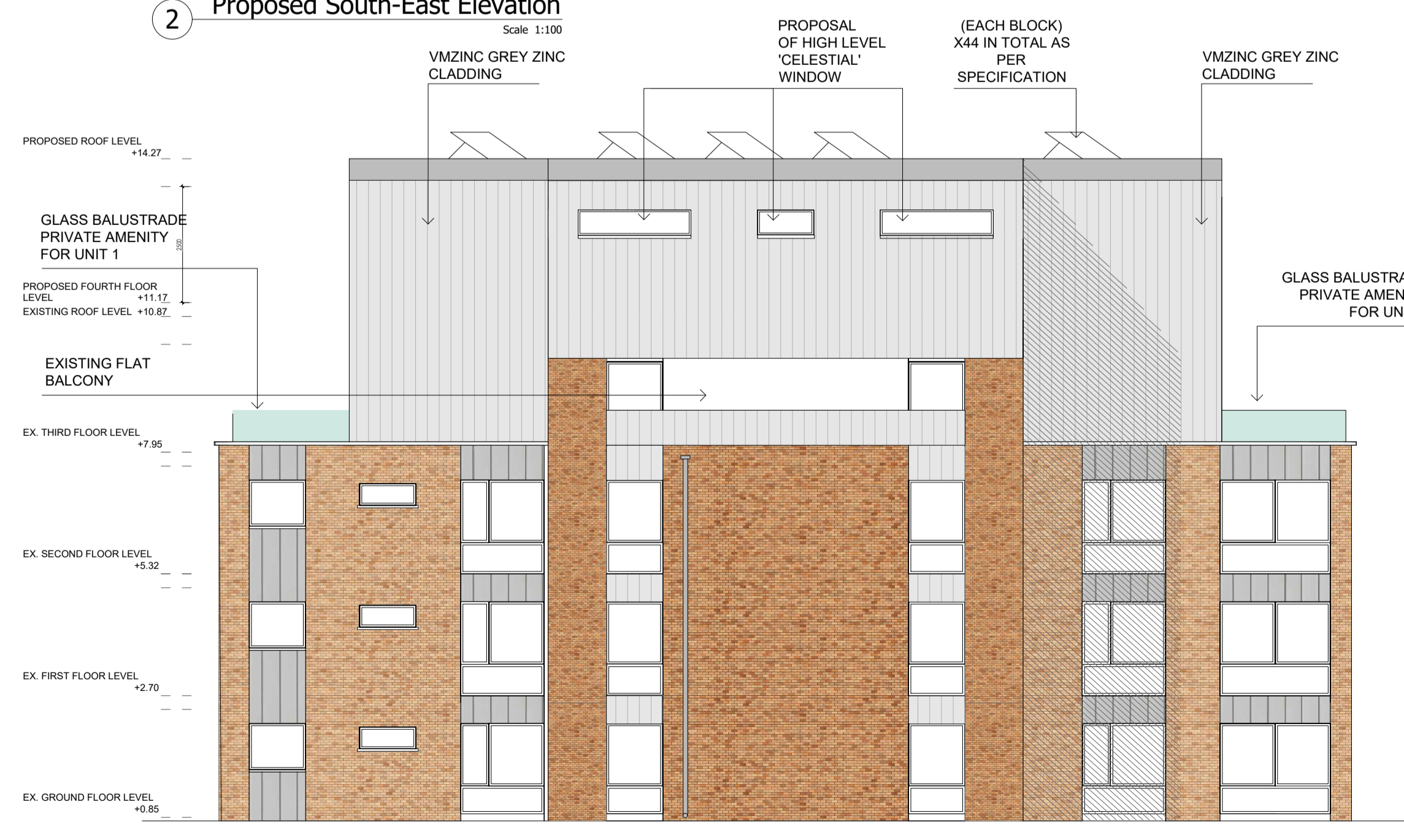
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Scale 1:100



2 Proposed South-East Elevation
Scale 1:100



3 Proposed North-East Elevation
Scale 1:100



4 Proposed North-West Elevation
Scale 1:100

Rev:	Description:	Date:
A	removal of high level celestial windows	09/06/21
B	Existing window amendment on plan to match elevation	30/06/21
C	annotation to section heights & elevations	01/04/23

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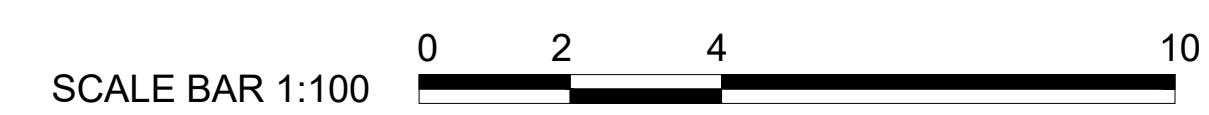
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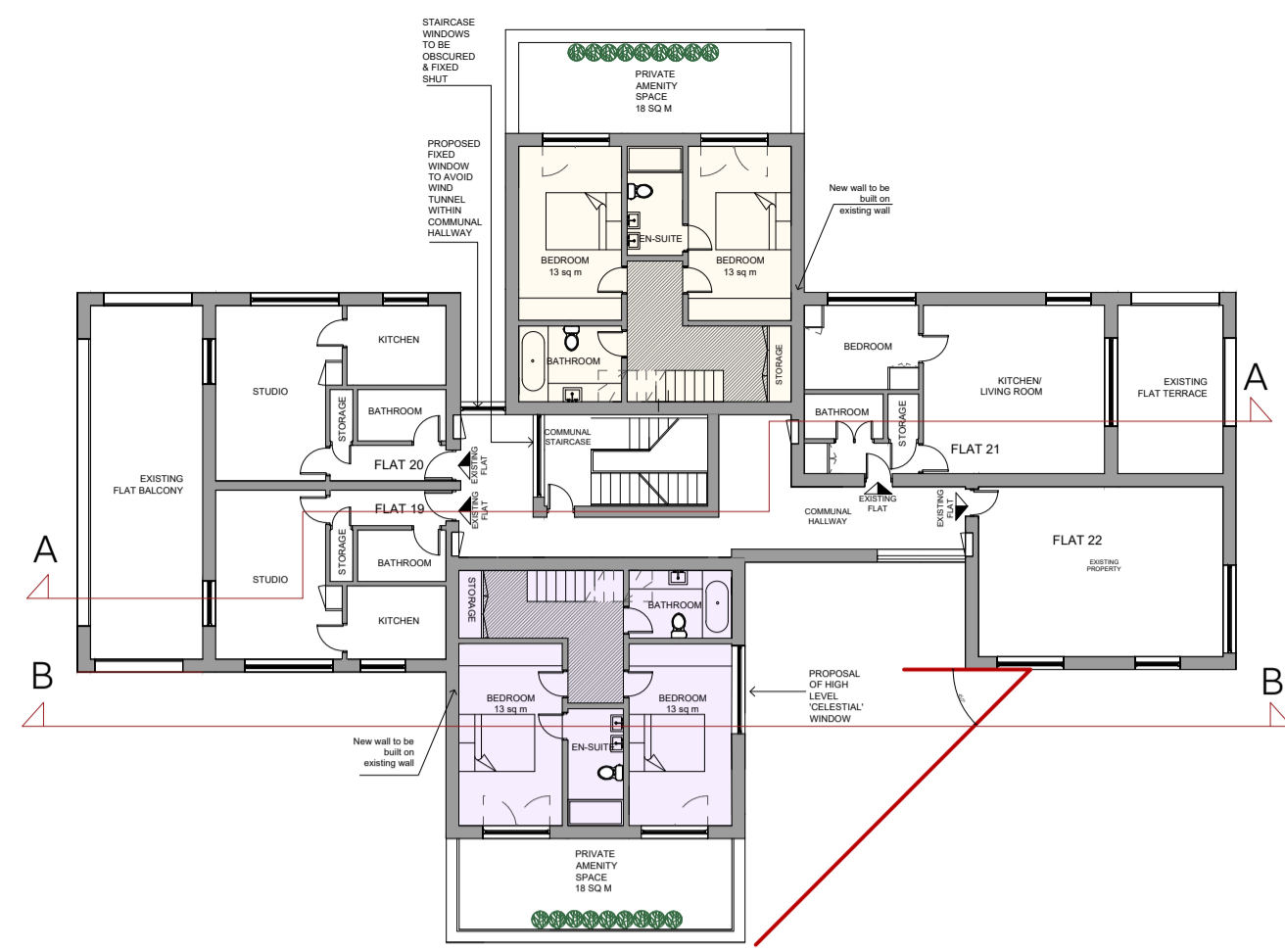
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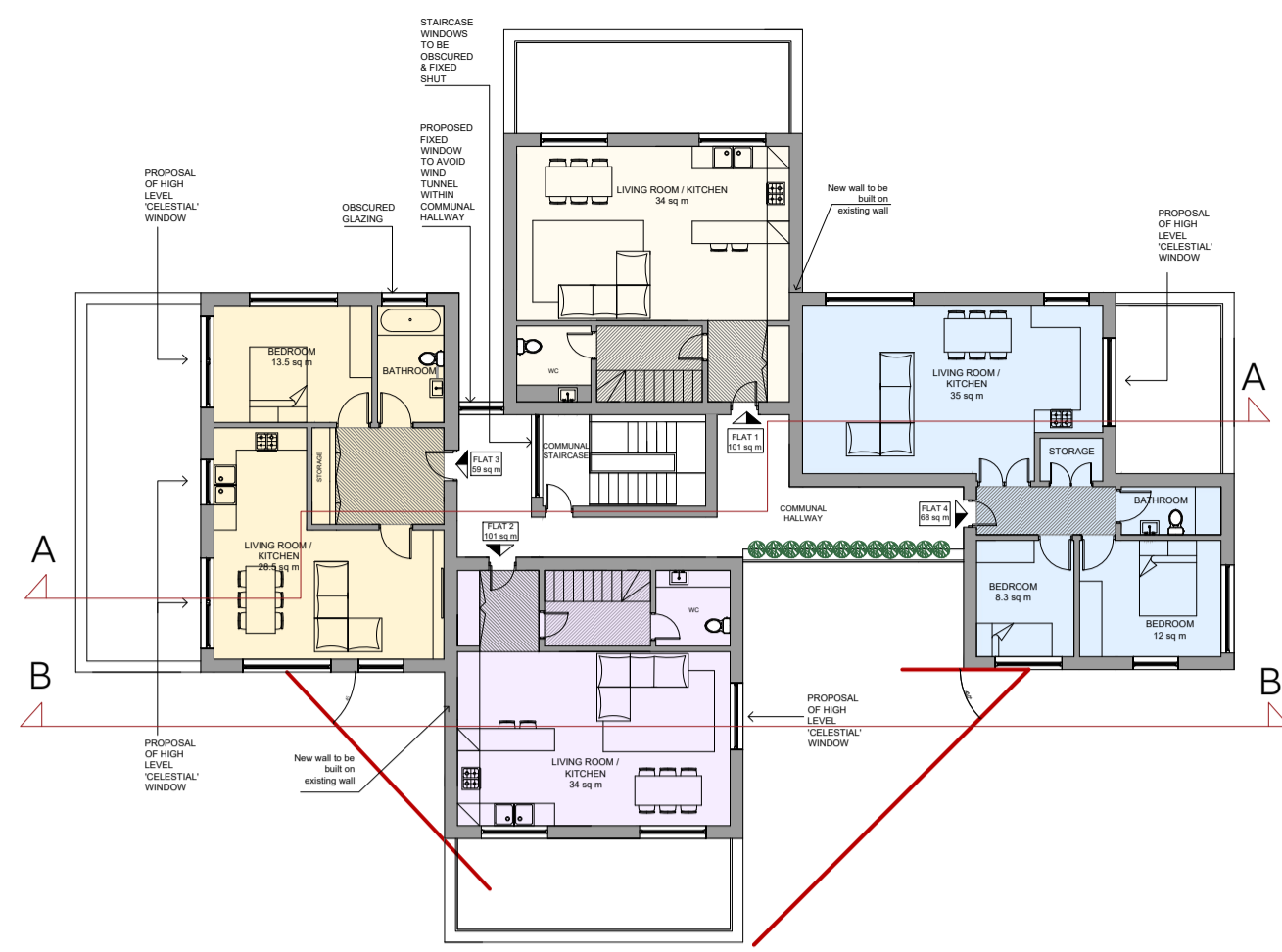
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Proposed Elevations BLOCK B

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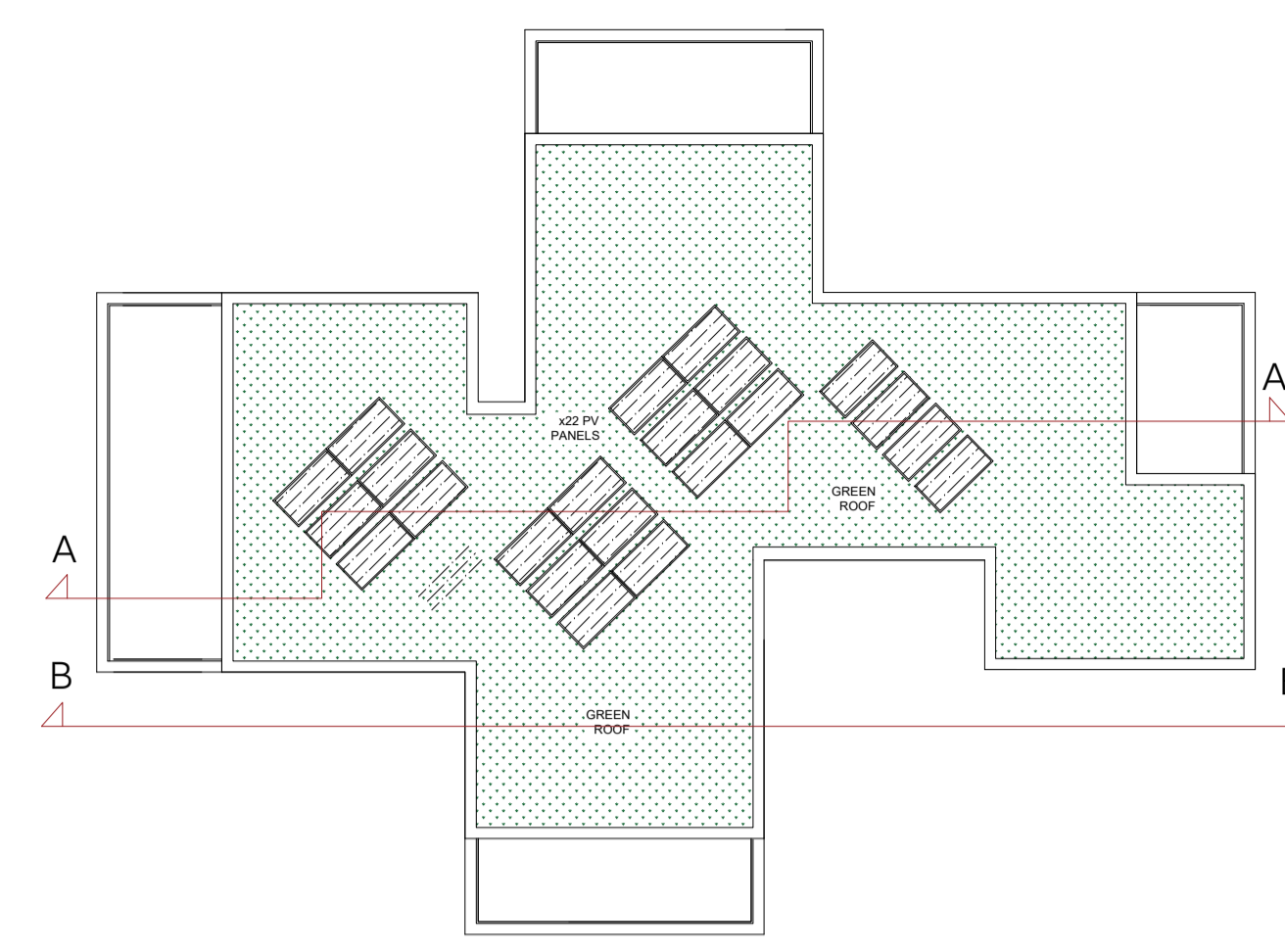




1 Proposed Third Floor Plan Scale 1:200

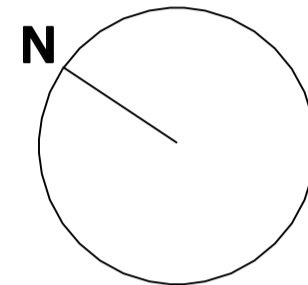


2 Proposed Fourth Floor Plan Scale 1:200



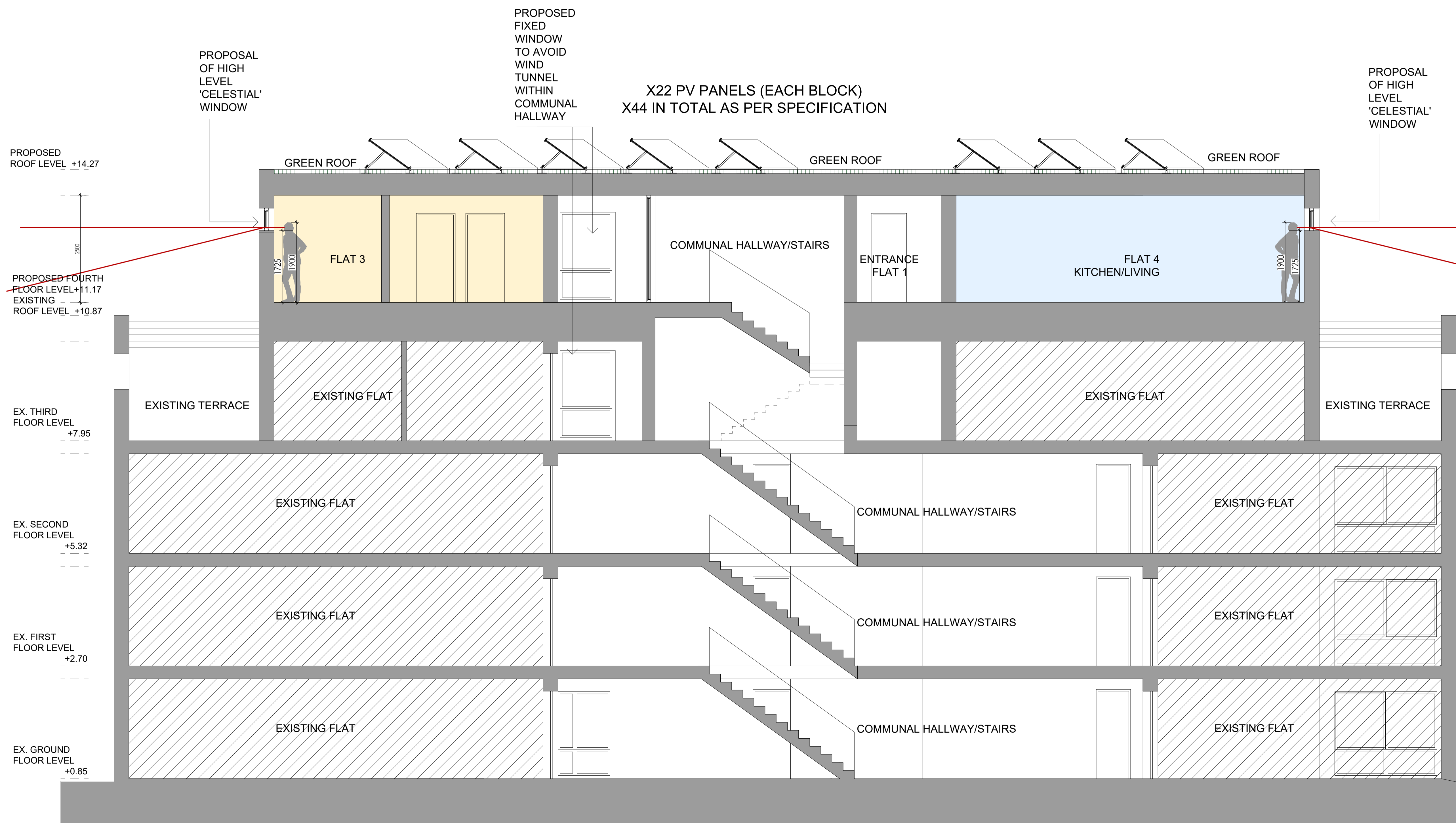
3 Proposed Roof Plan Scale 1:200

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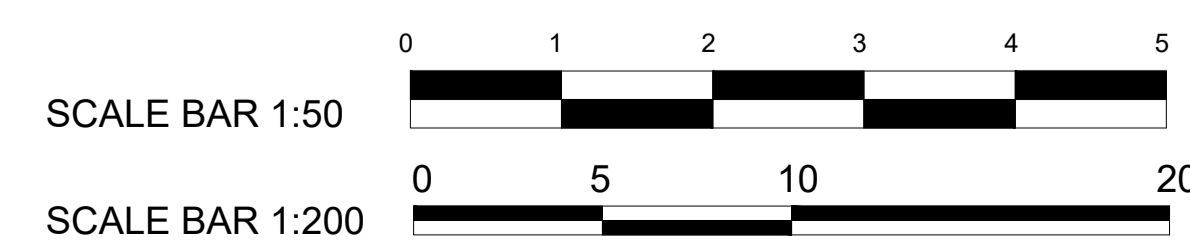


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Rev:	Description:	Date:
A	removal of high level celestial windows	09/06/21
B	Celestial Window amendment	30/06/21
C	revision to section line & additional notes	20/12/21
D	annotation to section heights & elevations	01/04/23



4 Proposed Section AA Scale 1:50



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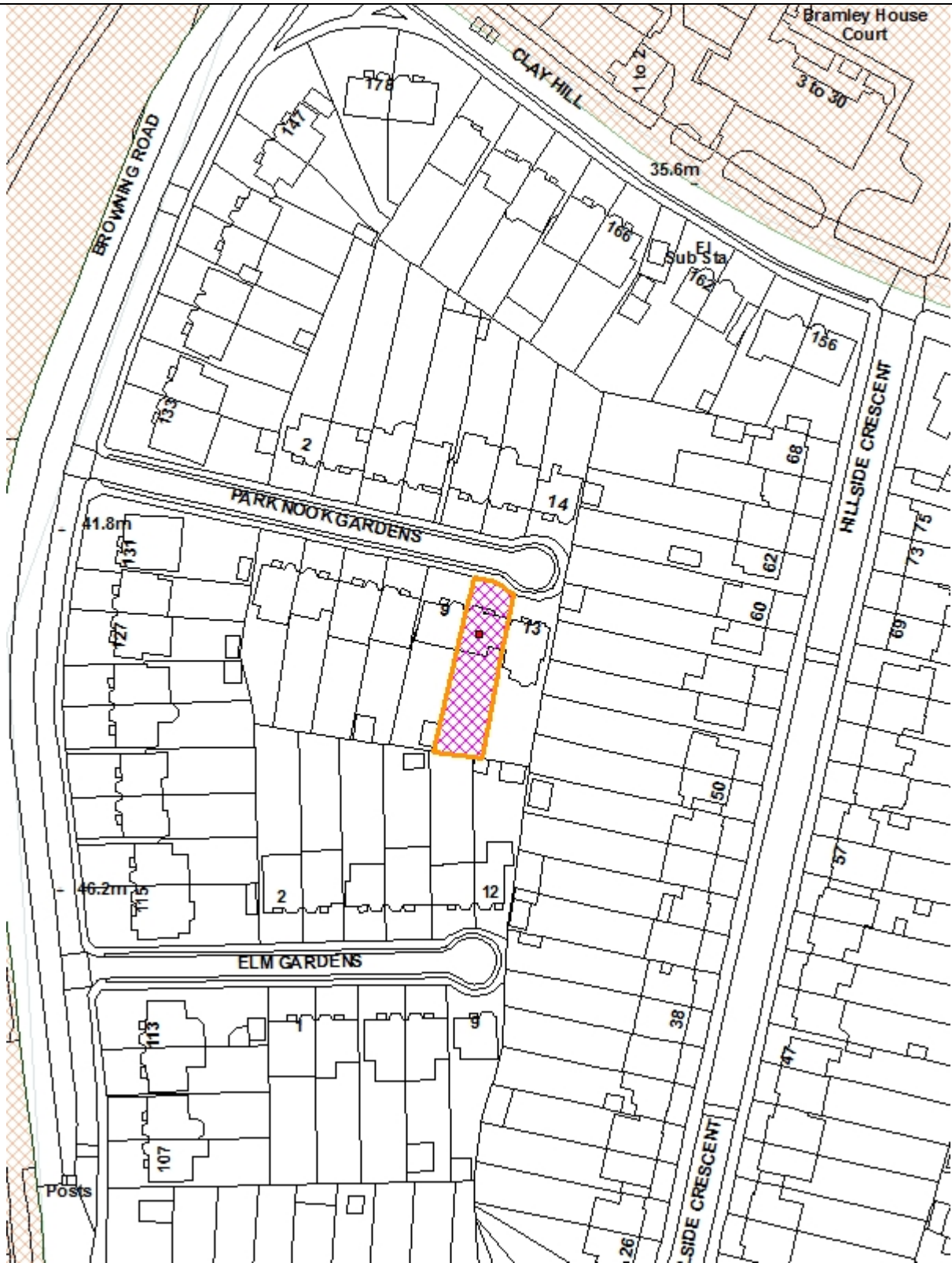
Drawing Title:
Proposed Section AA
Block A & B

Date:	Drawing Status:
March 2021	Planning
Drawing Number:	Revision
SE 1596 - 15/P1	D
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LONDON BOROUGH OF ENFIELD		
PLANNING COMMITTEE	Date: 20 June 2023	
Report of Director of Planning & Growth - Brett Leahy	Contact Officers: Sharon Davidson Kate Perry	Category Householder
Ward Whitewebbs	Councillor Request Cllr Dyson	
LOCATION: 11 Park Nook Gardens Enfield EN2 0HT		
APPLICATION NUMBER: 22/01969/HOU		
PROPOSAL: Demolition of side lean-to and erection of a single storey wrap around side and rear extension.		
Applicant Name & Address: Ms Louise Harries 11 Park Nook Gardens Enfield Enfield EN2 0HT	Agent Name & Address: Mr Marc Wetherill Capital Architectural Design 189 Cat Hill Barnet EN4 8HS	
RECOMMENDATION: 1) That the Head of Development Management be authorised to GRANT planning permission subject to conditions 2) That the Head of Development Management be granted delegated authority to agree the final wording of the conditions to cover the matters in the Recommendation section of this report		

Ref: 22/01969/HOU LOCATION: 11 Park Nook Gardens, Enfield, EN2 0HT,



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Scale 1:1250

North



1.0 Note for Members

1.1 Although an application of this scale and nature would normally be determined under delegated authority, the application has been reported to committee for determination at the request of Councillor Dyson for the following reasons (in summary):

- Plans would negatively impact the bungalow next door at 13 Park Nook Gardens in terms of blockage of sunlight into the kitchen and would mean they are in darkness. This will impact the physical and mental well-being being of the owners of 13 Park Nook Gardens.
- It will be difficult for the owners of 13 Park Nook Gardens to access their property during works due to the demolition of the side lean to.
- The works will negatively impact on the foundations to 13 Park Nook Gardens as the bungalow was built in the 1930s on shallow foundations and cracks to the bungalows could occur due to the proximity of the proposed demolition of the side lean to and building wrap around extension to 11 Park Nook Gardens.

2.0 Executive Summary

2.1 The application is for the erection of a single storey side and rear extension which would wrap around the property. The development would have no undue impact on the character and appearance of the subject dwelling or the immediate area and would not unacceptably harm the amenities of the occupiers of adjoining properties. It is compliant with relevant policies of the development plan.

3.0 Recommendation

3.1 That the Head of Development Management be authorised to GRANT planning permission subject to the following conditions:

Time

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of s51 of the Planning & Compulsory Purchase Act 2004.

Approved plans

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

2022/934-100 Revision C

Reason: For the avoidance of doubt and in the interests of proper planning.

External Finishing Materials

3. The external finishing materials shall match those used in the construction of the existing building and/or areas of hard surfacing.

Reason: To ensure a satisfactory appearance.

Restricted PD – Flat Roofs

4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015, or any amending Order, no balustrades or other means of enclosure shall be erected on the roof of the extension(s). No roof of any part of the extension(s) shall be used for any recreational purpose and access shall only be for the purposes of the maintenance of the property or means of emergency escape.

Reason: To safeguard the privacy of the occupiers of adjoining properties.

- 3.2 That the Head of Development Management be granted delegated authority to agree the final wording of the conditions to cover the matters in the Recommendation section of this report.

4.0 Site & Surroundings

- 4.1 The subject property is a two-storey, semi-detached house, situated towards the end of the cul-de-sac, Park Nook Gardens, on the southern side of the road. The cul-de-sac is characterised by similar 1930's semi-detached houses, apart from number 13, immediately to the east, which is a single storey bungalow and number 14, opposite number 13, which is a two-storey detached house.
- 4.2 The subject property benefits from a single storey side extension, a small rear facing dormer and front rooflight. There is hardstanding and a dropped kerb to the front.
- 4.3 Several properties along Park Nook Gardens benefit from single storey and two storey side extensions. Numbers 5, 7 and 10 have wrap around side and rear extensions.
- 4.4 The property is neither listed nor does it fall within a conservation area.

5.0 Proposal

- 5.1 The proposal seeks planning permission for the erection of a single storey side and rear extension which would wrap around the property.
- 5.2 The side extension would be located on the eastern side of the property and would replace an existing structure which currently contains a workshop/ utility room and cloakroom. The new extension would be built up close to the boundary with number 13 Park Nook Gardens similar to the existing situation however, where it projects to the rear of the property it would be stepped in a minimum of 1.3m for the final 2.7m. The proposed extension next to the boundary with number 13 Park Nook Gardens would be deeper than the existing structure extending to the rear by a further 5.3m approximately. The extension would have a flat roof measuring 2.8m for most of its depth. Where it wraps around to the rear the eaves height would remain at 2.8m but it would have a mono-pitch roof extending to an overall height of 3.9m.
- 5.3 The rear extension would measure 3m in depth from the original rear wall. There would be a small patio beyond with steps up to the rear garden. The extension would accommodate an extended kitchen dining and living space.

6.0 Relevant Planning History

Application site

- 6.1 TP/89/1346 | Erection of 2-storey side extension and single storey front extension to provide front entrance porch garage and additional living accommodation.
Granted with conditions 26.03.1990
- 6.2 TP/88/0390 | Erection of a part 2-storey part single storey extension at front and side of house to provide garage front entrance porch and additional living accommodation.
Granted with conditions 09.09.1988
- 6.3 23/00679/CEA
Single storey rear extension, single storey side extension and hip to gable with rear dormer and front rooflights.
Granted 28.04.2023

Neighbouring sites

- 6.4 **14 Park Nook Gardens Enfield EN2 0HT**
21/03563/HOU | Single storey side / rear extension with raised terrace (amended description)
Granted with conditions 17.11.2021
- 6.5 **5 Park Nook Gardens, Enfield EN2 0HT**
16/02253/HOU | Single storey rear extension.
Granted with conditions 25.07.2016

7.0 Consultation

7.1 Statutory and Non-Statutory Consultees

Internal

None

External

None

7.2 Public

Number notified	8
Consultation start date	16.06.2022
Consultation end date	10.07.2022
Representations made	1
Objections	1
Other/support comments	0

- 7.3 One objection was received during the consultation period. The response is summarised as follows:

- Loss of light
- Loss of outlook
- Loss of privacy
- Development too high
- Development is too deep
- Development is too close to the boundary
- Impact on the character of the area/out of keeping
- Concerns regarding party walls
- Concerns regarding impact of development on neighbouring foundations and structural integrity of adjacent property

7.4 Officer comment

Whilst concerns regarding the party wall have been noted, matters relating to party walls are a civil matter and are not a material planning consideration. Similarly, concerns relating to the structural integrity of the adjacent property are not a material planning consideration. Compliance with building regulations and inspection by building control officers would ensure that the development is acceptable in this regard. Other points are addressed in the analysis section of this report.

8.0 **Relevant Planning Policies**

- 8.1 Section 70(2) of the Town and Country Planning Act 1990 requires the Committee to have regard to the provisions of the development plan so far as material to the application: and any other material considerations. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires planning decisions to be made in accordance with the development plan unless material considerations indicate otherwise.

National Planning Policy Framework 2021

- 8.2 The National Planning Policy Framework (NPPF) introduces a presumption in favour of sustainable development. In this respect, sustainable development is identified as having three dimensions - an economic role, a social role and an environmental role. For decision taking, this presumption in favour of sustainable development means:
- a) an economic objective – to help build a strong, responsive and competitive economy, by ensuring that sufficient land of the right types is available in the right places and at the right time to support growth, innovation and improved productivity; and by identifying and coordinating the provision of infrastructure;
 - b) a social objective – to support strong, vibrant and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering a well-designed and safe built environment, with accessible services and open spaces that reflect current and future needs and support communities' health, social and cultural well-being; and
 - c) an environmental objective – to contribute to protecting and enhancing our natural, built and historic environment; including making effective use of land, helping to improve biodiversity, using natural resources prudently, minimising waste and pollution, and mitigating and adapting to climate change, including moving to a low carbon economy.

- 8.3 The NPPF recognises that planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. The NPPF does not change the statutory status of the development plan as the starting point for decision making.
- 8.4 Paragraph 48 of the NPPF details when weight may be given to relevant emerging plans. This guidance states that the stage of preparation, the extent to which there are unresolved objections and the degree of consistency of relevant policies to the Framework are relevant.

The London Plan 2021

- 8.5 The London Plan together with Enfield's Local plan forms the Development Plan for this application. It is the overall strategic plan for London setting out an integrated economic, environmental, transport and social Framework for the development of London for the next 20-25 years. The following policies of the London Plan are considered particularly relevant:

D4 Delivering Good Design

Local Plan - Overview

- 8.6 Enfield's Local Plan comprises the Core Strategy, Development Management Document, Policies Map and various Area Action Plans as well as other supporting policy documents. Together with the London Plan, they form the statutory development plan for the Borough. Enfield's Local Plan sets out planning policies to steer development where they align with the NPPF and the London Plan 2021. Whilst many of the policies do align with the NPPF and the London Plan, it is noted that these documents do in places supersede the Local Plan in terms of some detail and as such the proposal is reviewed against the most relevant and up-to-date policies within the Development Plan.

Enfield Core Strategy: 2010

- 8.7 The Core Strategy was adopted in November 2010 and sets out a spatial planning framework for the development of the Borough through to 2025. The document provides the broad strategy for the scale and distribution of development and supporting infrastructure, with the intention of guiding patterns of development and ensuring development within the Borough is sustainable.

CP30 Maintaining and improving the quality of the built and open environment

Development Management Document (2014)

- 8.8 The Council's Development Management Document (DMD) provides further detail and standard based policies by which planning applications should be determined. Policies in the DMD support the delivery of the Core Strategy.
- 8.9 The following local plan Development Management Document policies are considered particularly relevant:

DMD11	Rear extensions
DMD14	Side extensions
DMD 37	Achieving high quality design led development

8.10 Other Material Considerations

National Planning Practice Guidance
Community Infrastructure Levy Regulations 2010 (as amended)

Enfield Local Plan (Reg 18) 2021

8.11 The Reg 18 document sets out the Council's preferred policy approach together with draft development proposals for several sites. It is Enfield's Emerging Local Plan.

8.12 As the emerging Local Plan progresses through the plan-making process, the draft policies within it will gain increasing weight, but at this stage it has relatively little weight in the decision-making process.

8.13 Key local emerging policies from the plan are:

Policy DM DE15 – Residential extensions

9.0 Analysis

9.1. The Planning and Compulsory Purchase Act 2004 and the Town and Country Planning Act 1990 seek to establish that planning decisions are taken in accordance with the Development Plan unless material considerations indicate otherwise. Furthermore, paragraph 11 (c) of the NPPF goes on to state that development proposals that accord with the development plan should be approved without delay.

9.2. This report sets out the analysis of the issues that arise from the proposal when assessed against the development plan and the NPPF

9.3. This application has been subject to negotiation to address the concerns raised by officers and local residents through the consultation process and the amendments made are explained further below.

9.4. The main considerations of the development are the following.

- Principle of Development
- Character and Design
- Neighbouring Residential Amenity

Principle of Development

9.5 The principle of extending residential properties in residential areas is acceptable subject to consideration of material planning matters.

Character and Design

9.6 Policy D4 of the London Plan, policy CP30 of Enfield's Core Strategy and Policy DMD37 of the Council's Development Management Document all require development proposals to be design led and of high quality, having regard to their context and surroundings through positively responding to local distinctiveness

through their layout, orientation, scale, appearance and shape, with due regard to existing and emerging street hierarchy, building types, forms and proportions.

- 9.7 Policies DMD11 and DMD14 require that residential rear and side extensions do not cause an adverse visual impact and must secure a common alignment of extensions. In the case of rear extensions, these should not normally exceed 3 metres in depth beyond the original rear wall in the case of semi-detached and terraced properties nor exceed a height of 3 metres from ground level when measured to the eaves with an allowance of between 3.3-3.5 metres to the top of a parapet wall or 4m to the pitch. Side extensions should not result in the appearance of a continuous façade or “terracing effect” and should retain a distance of 1m from the boundary.

Rear extension

- 9.8 The rear extension, at 3m in depth, 2.8m in height to the eaves and 3.9m to the top of the mono-pitch roof, would comply with policy guidance outlined in DMD11. The materials would match those of the host dwelling and the fenestration would be proportionate and in keeping.

Side extension

- 9.9 The side extension would replace an existing extension (albeit deeper to the rear as outlined in para. 5.2 of this report). The new extension would measure a maximum of 2.8m in height along the side of the original dwelling and would have a flat roof. It would have no flank windows, a set of doors to the front and would be constructed in materials matching those of the host dwelling. It would be built close to the side boundary, however given it would be single storey it would not result in a terracing effect. The existing single storey side extension is built up to the boundary and there are a number of examples of similar extensions in Park Nook Gardens. The side extension would appear acceptable in the streetscene.
- 9.10 Overall, the development is considered to be in keeping with the character and appearance of the subject dwelling and the immediate street scene and it would comply with the relevant policies of the development plan.

Residential Amenity

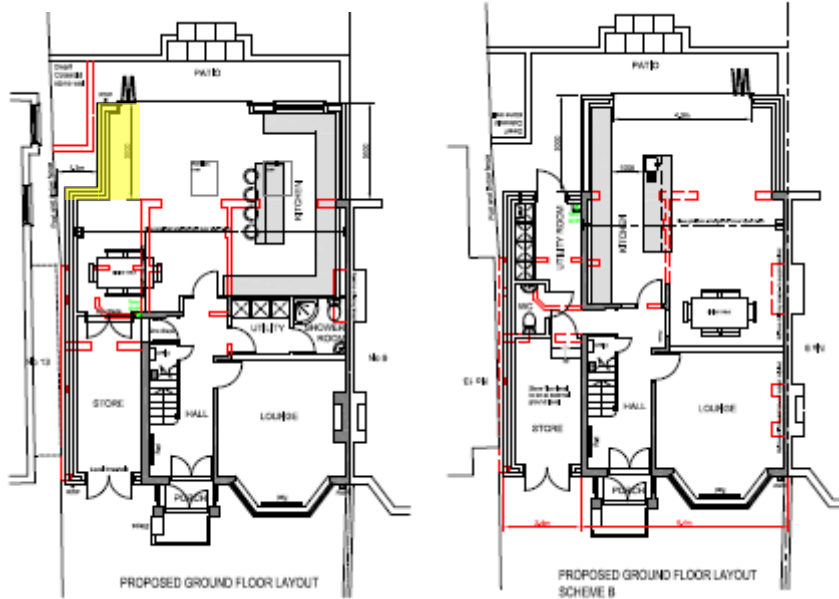
- 9.11 Policy DMD11 requires that proposed rear extensions cause no unacceptable impact on the amenities of neighbouring residential occupiers. The policy states that rear extensions should not normally exceed 3m in depth for terraced and semi-detached dwellings and extensions of a greater depth should not exceed a line taken at a 45-degree angle from the mid-point of the nearest original ground floor window to any of the adjacent properties. Where extension secure common alignment of extensions with neighbouring properties they are likely to be acceptable.

9 Park Nook Gardens

9. 12 The rear extension would project 3m in depth from the rear elevation and along the common boundary with number 9 Park Nook Gardens. This would meet the policy requirement of DMD 11 and would result in an acceptable relationship with this property. It would not result in an unacceptable loss of light or outlook and nor would it be overly dominant or result in an unacceptably heightened sense of enclosure. In terms of privacy, no windows are proposed in the side elevation and therefore no concerns are raised regarding additional overlooking.

13 Park Nook Gardens

- 9.13 Number 13 Park Nook Gardens has an existing single storey rear extension. The depth of the extension currently proposed would secure common alignment with the depth of the neighbours existing rear extension. No concerns are therefore raised in relation to loss of light or outlook to and from the rear facing windows and glazed patio door.
- 9.14 However, number 13 also has two windows in the side elevation facing west towards the boundary with number 11. The existing side extension at number 11 does not impact these windows because it is not as deep as the extension currently proposed. The proposed extension would impact light and outlook from the side windows. Light would be particularly affected in the afternoon and evening when the sun moves round to the west.
- 9.15 When applying policy, less weight is usually afforded to side windows as they are normally considered to be secondary and not to be the main source of light to a room. It is noted that in this case, the additional depth to the room, in part created by the existing extension at the neighbouring property, means there is a greater reliance on the side windows to provide light to the kitchen area which is deeper within the house, and further away from the south facing windows and glazed patio doors.
- 9.16 Given the concerns raised by the occupiers of number 13 Park Nook Gardens, particular consideration has been given to the impact on the side windows. In an effort to address concerns regarding outlook and loss of light in relation to the side windows, amendments have been made to the design. The eaves height of the side/rear extension has been reduced to 2.8m and the rear part of the extension has been moved away from the common boundary by between 1.3m and 1.42m for the final 2.7m to allow afternoon light more opportunity to enter the kitchen at number 13.
- 9.17 It is noted that the neighbouring occupier has suggested that the 45 degree angle specified in DMD 11 should be applied from the side windows. However, whilst not stated explicitly in the policy, it is widely accepted that this policy requirement relates to rear facing windows. If it were to be applied to side facing windows extensions to the rear of existing residential properties would rarely be permissible.
- 9.18 It should also be recognised that much of this proposed development could be achieved under permitted development. An application under the provisions of Schedule 2, Class A of the GPDO (2015) was granted by the Council on 28.04.2023. The approved application demonstrates what could be achieved by utilising the properties permitted development rights. A comparison of the proposed ground floor plan and that submitted with the approved permitted development application is shown below. The area shaded in yellow (illustrative – added by Officer) identifies the footprint of development which could not be implemented under the approved permitted development application.



Current Planning Application

Current Permitted Development Application

9.19 Having regard to this as well as the other considerations outlined in this report; the height of the development, the set in from the boundary and that there are unaffected south facing windows and patio doors providing light to the neighbours kitchen and dining space, the impact on residential amenity is not considered to be unacceptable when assessed against relevant policy.

Community Infrastructure Levy (CIL)

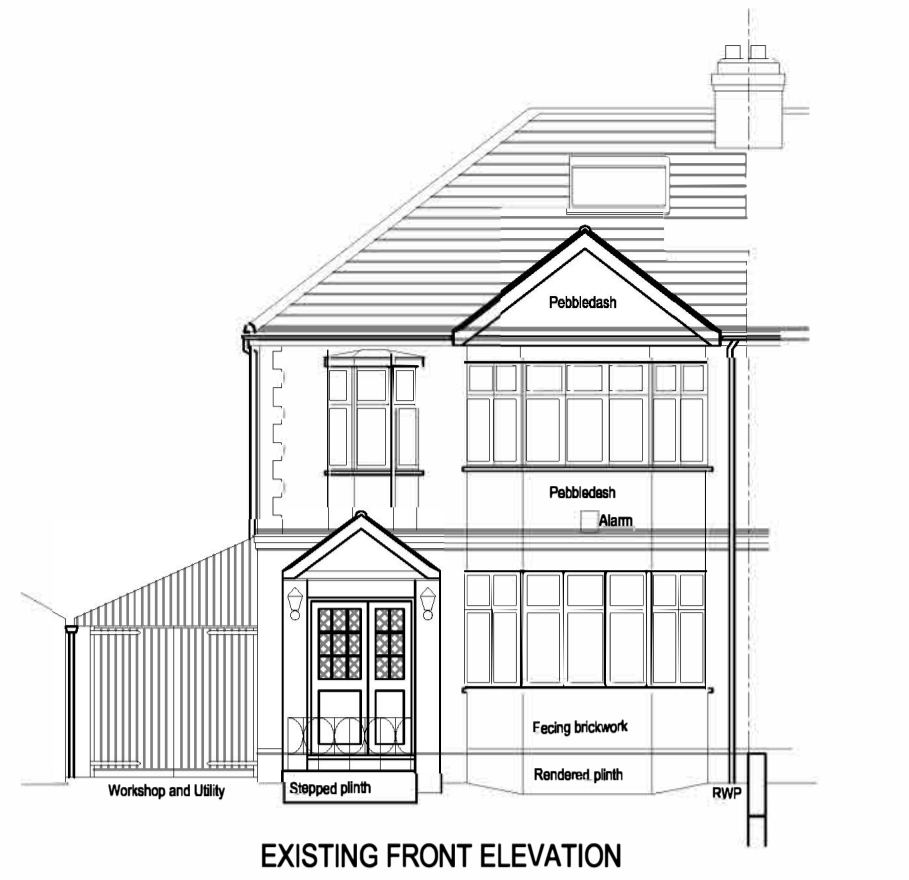
9.20 The development would result in additional floorspace of less than 100 sq m and so would not have to pay CIL.

10.0 Public Sector Equality Duty

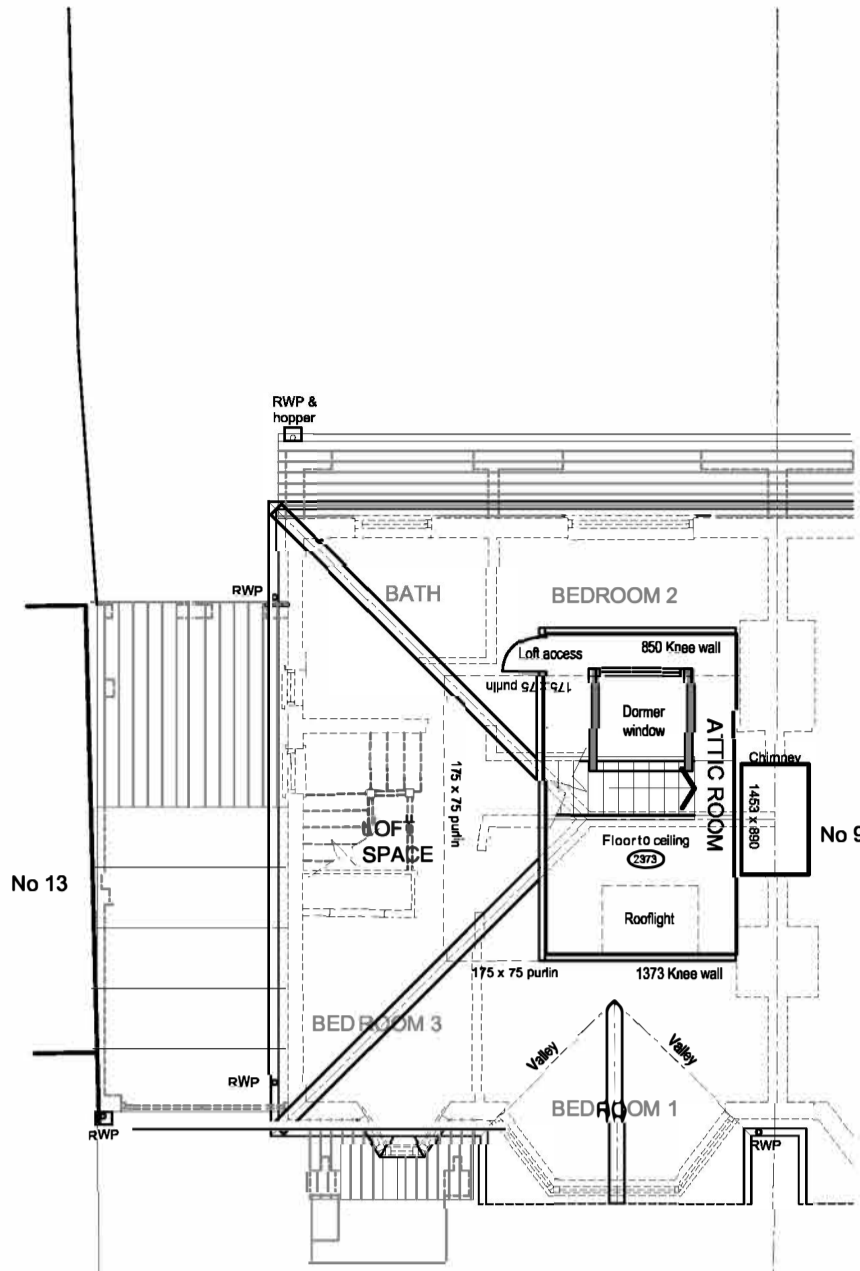
10.1 In accordance with the Public Sector Equalities Duty, it is considered the proposal would not disadvantage people who share one of the different nine protected characteristics as defined by the Equality Act 2010 compared to those who do not have those characteristics.

11.0 Conclusion

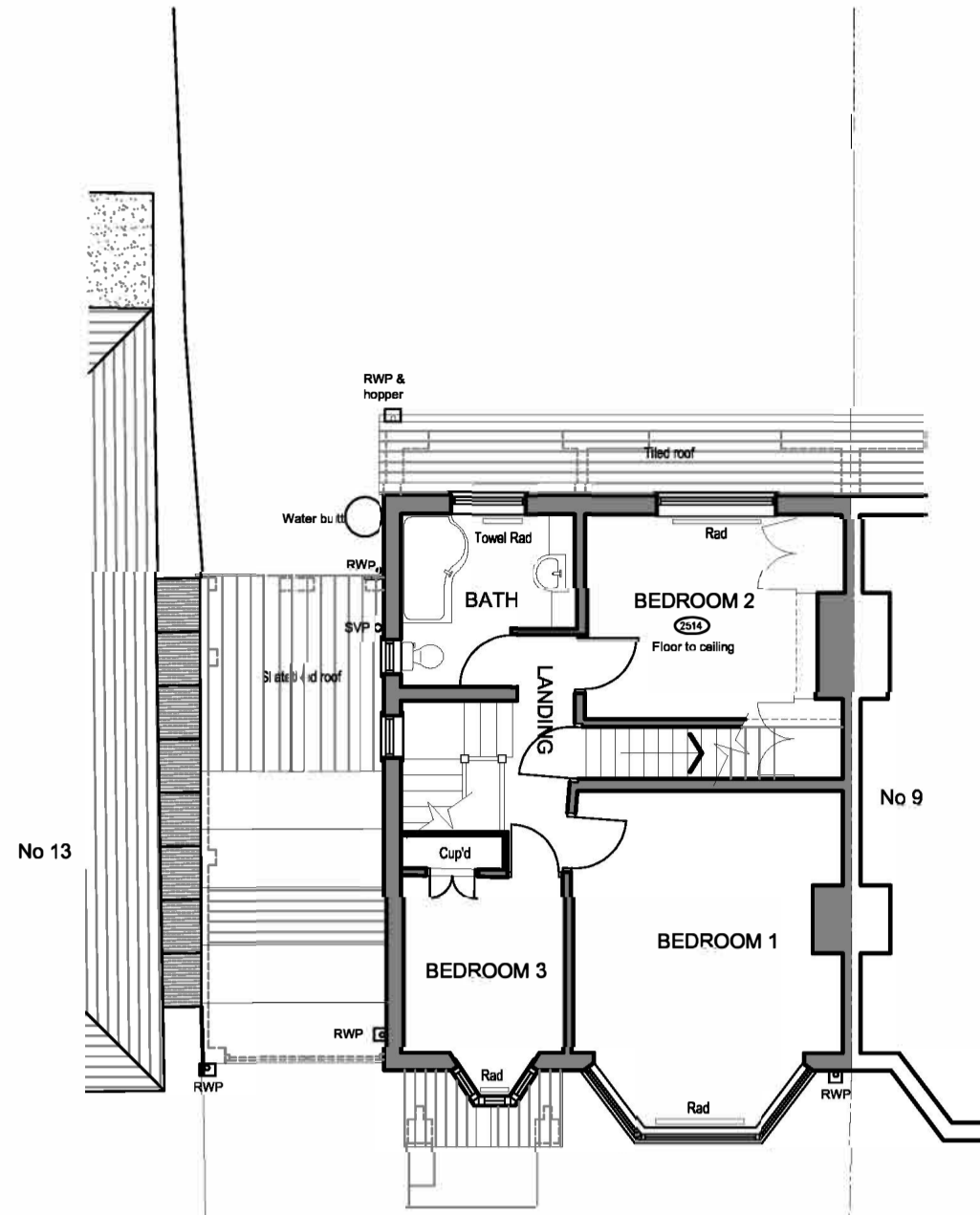
11.1 The proposal is for small scale residential extensions that are in keeping with the character of the area and would not have an unacceptable impact on neighbouring amenity. The application is recommended for approval.



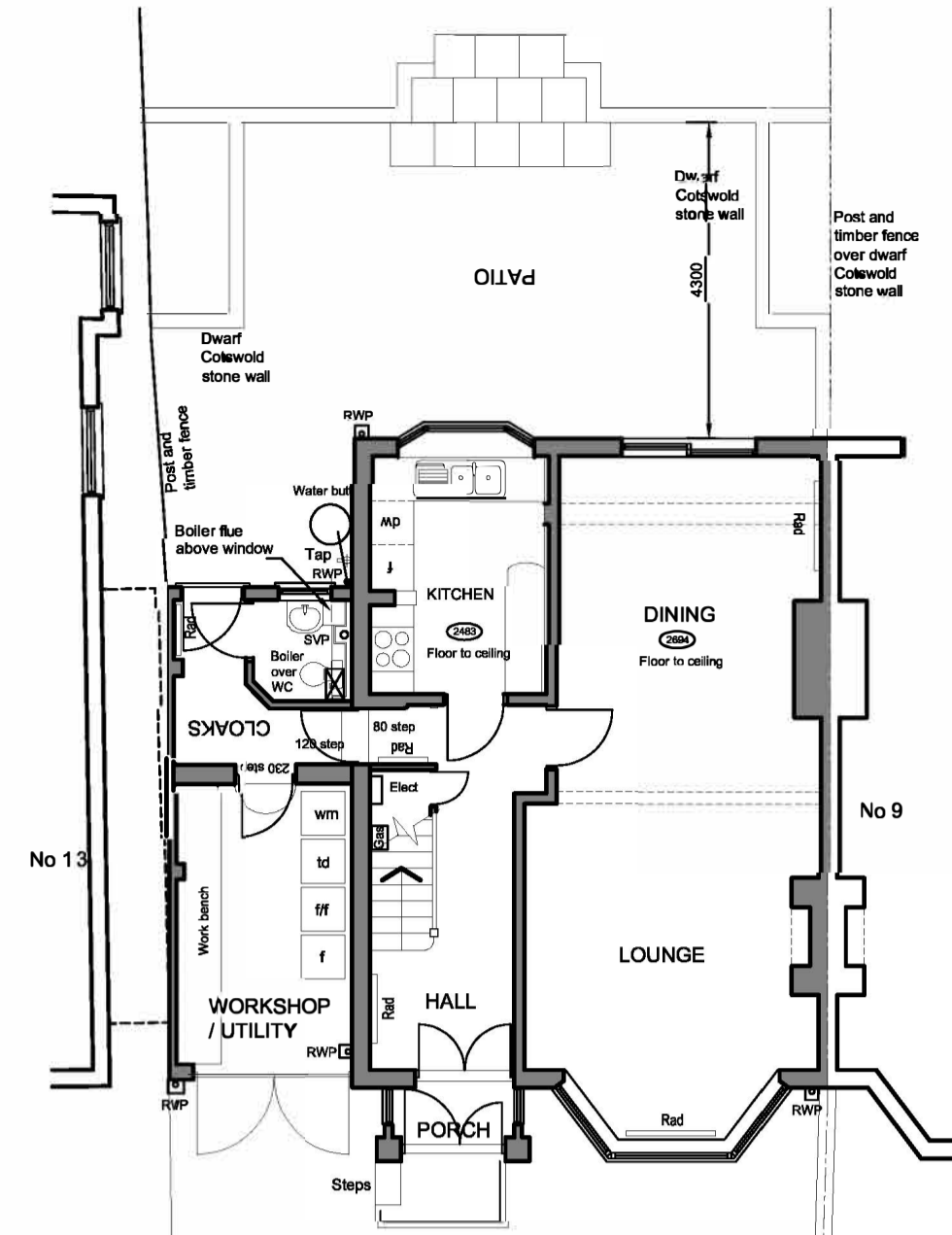
EXISTING FRONT ELEVATION



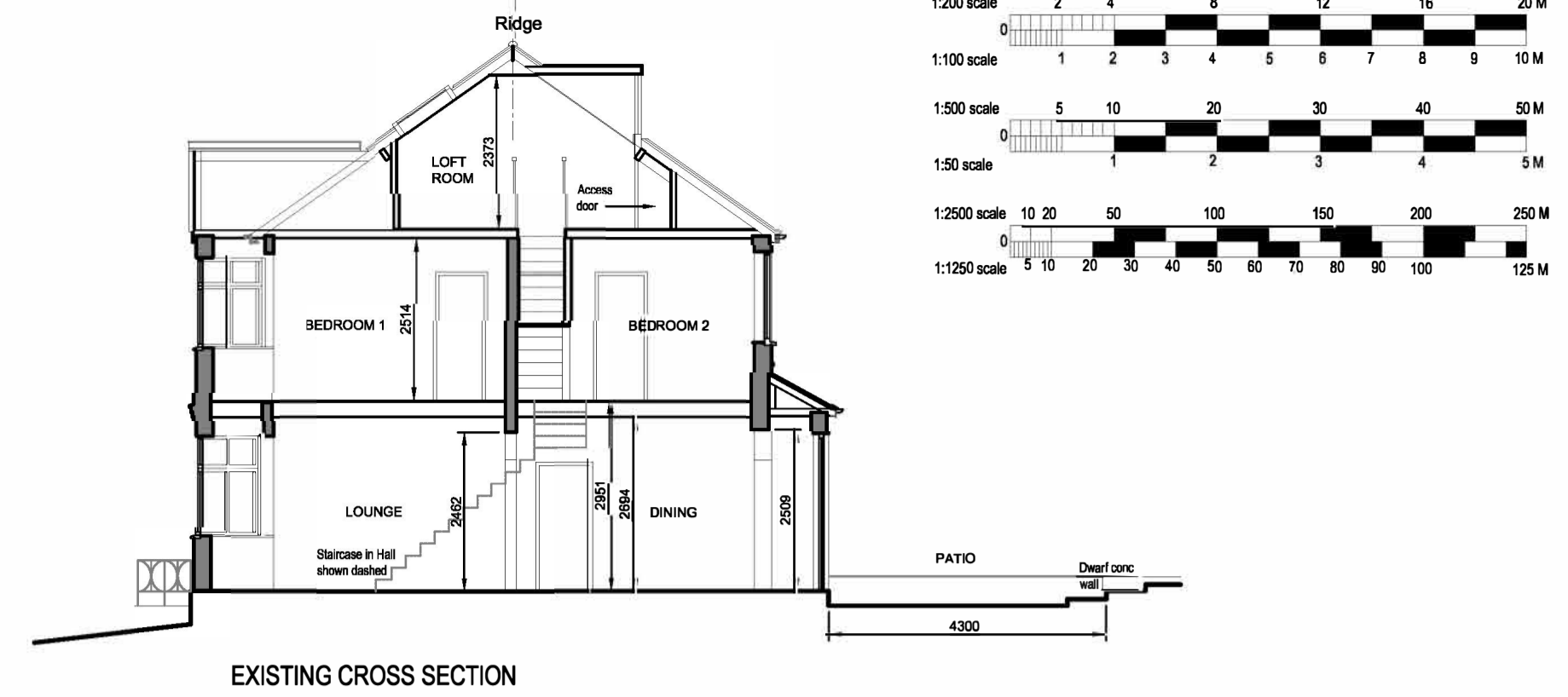
EXISTING ROOF PLAN



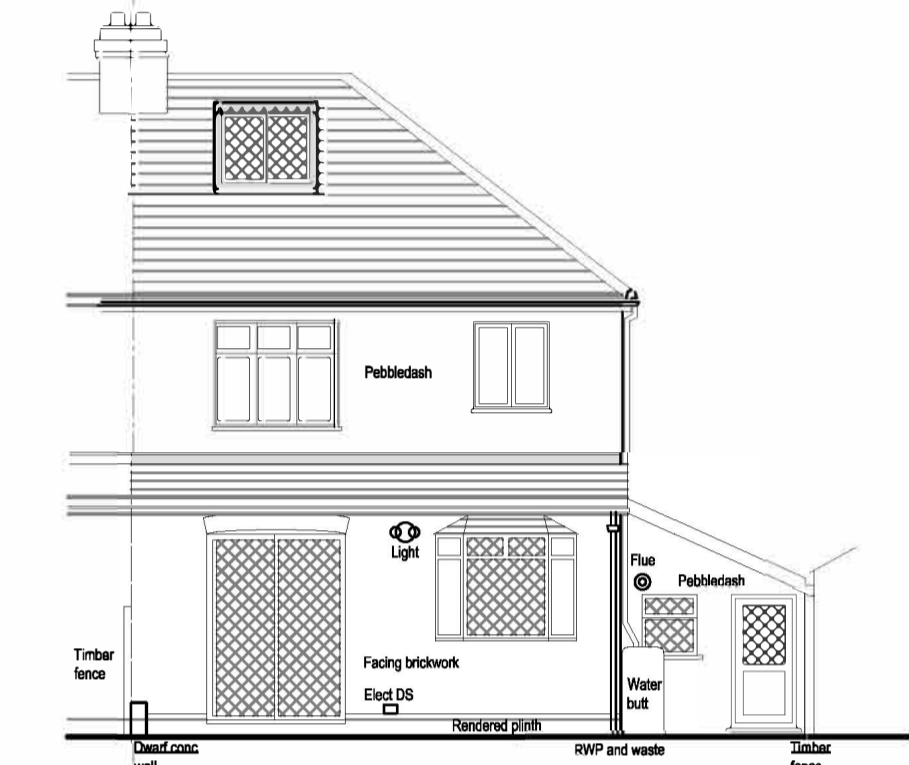
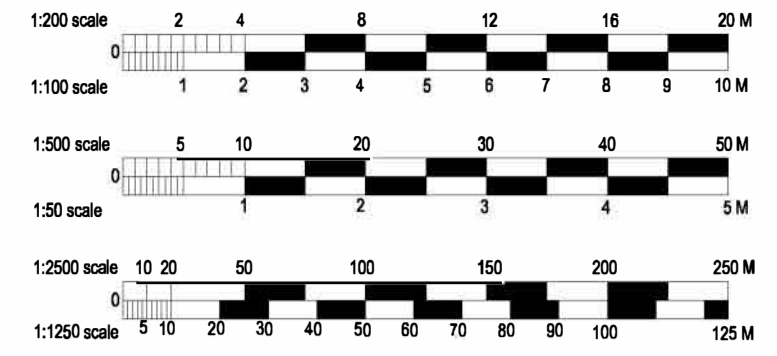
EXISTING FIRST FLOOR LAYOUT



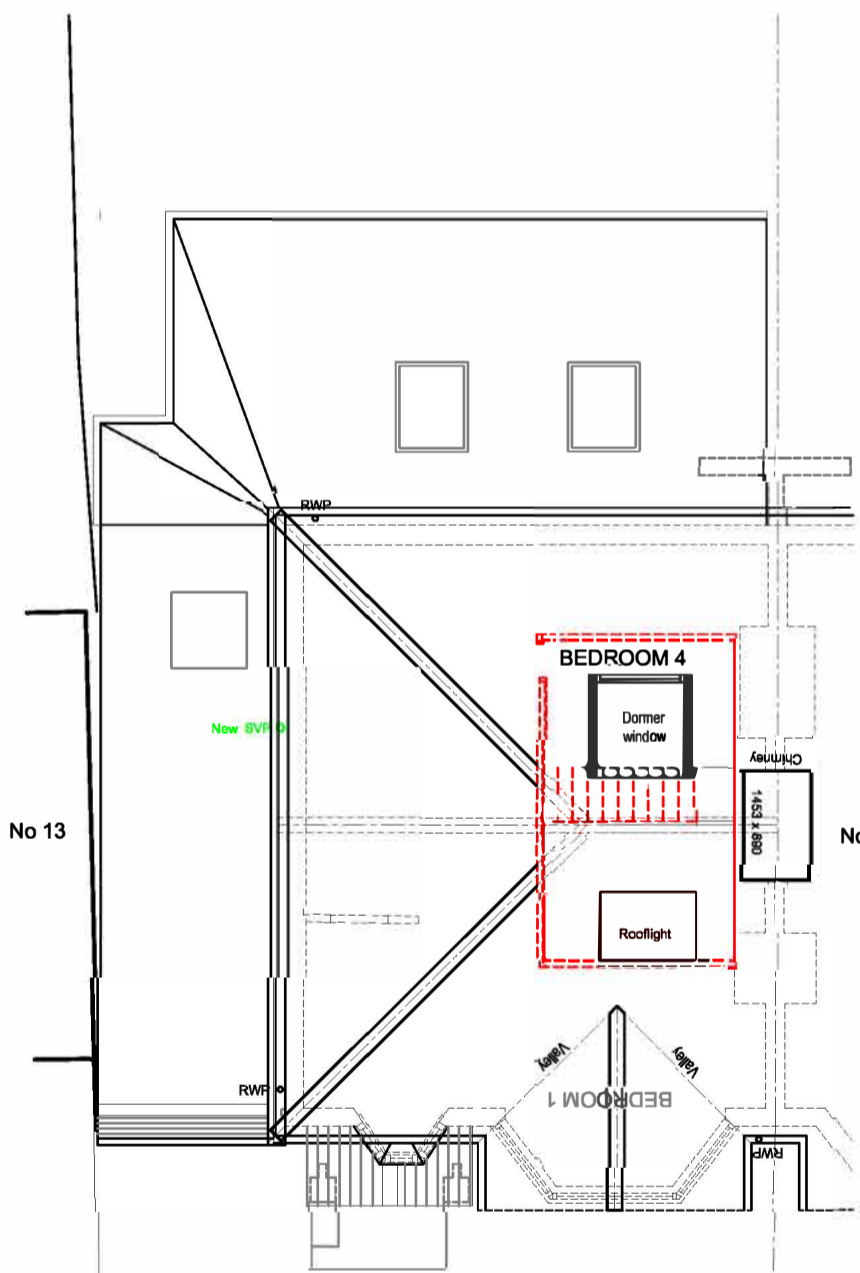
EXISTING GROUND FLOOR LAYOUT



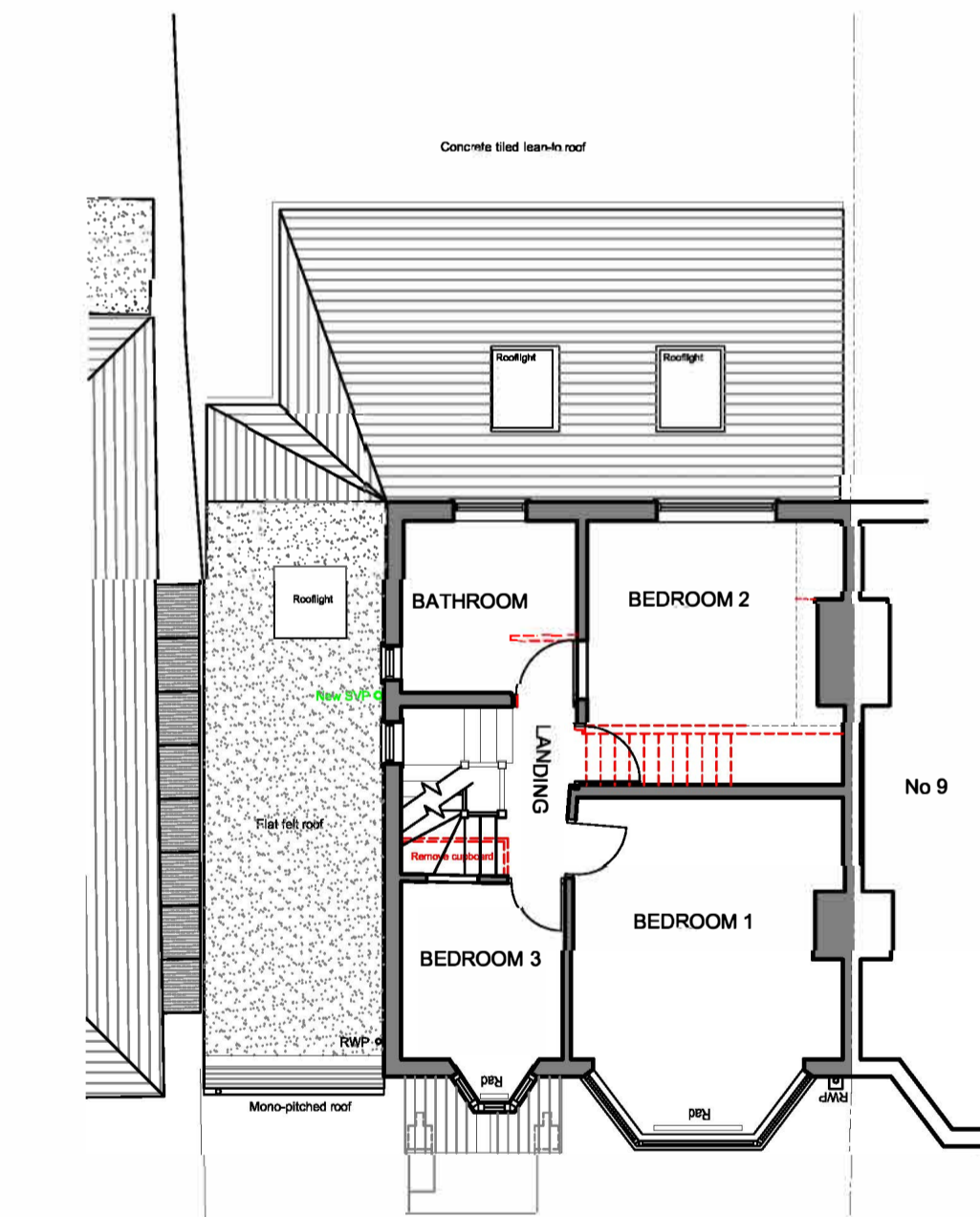
EXISTING CROSS SECTION



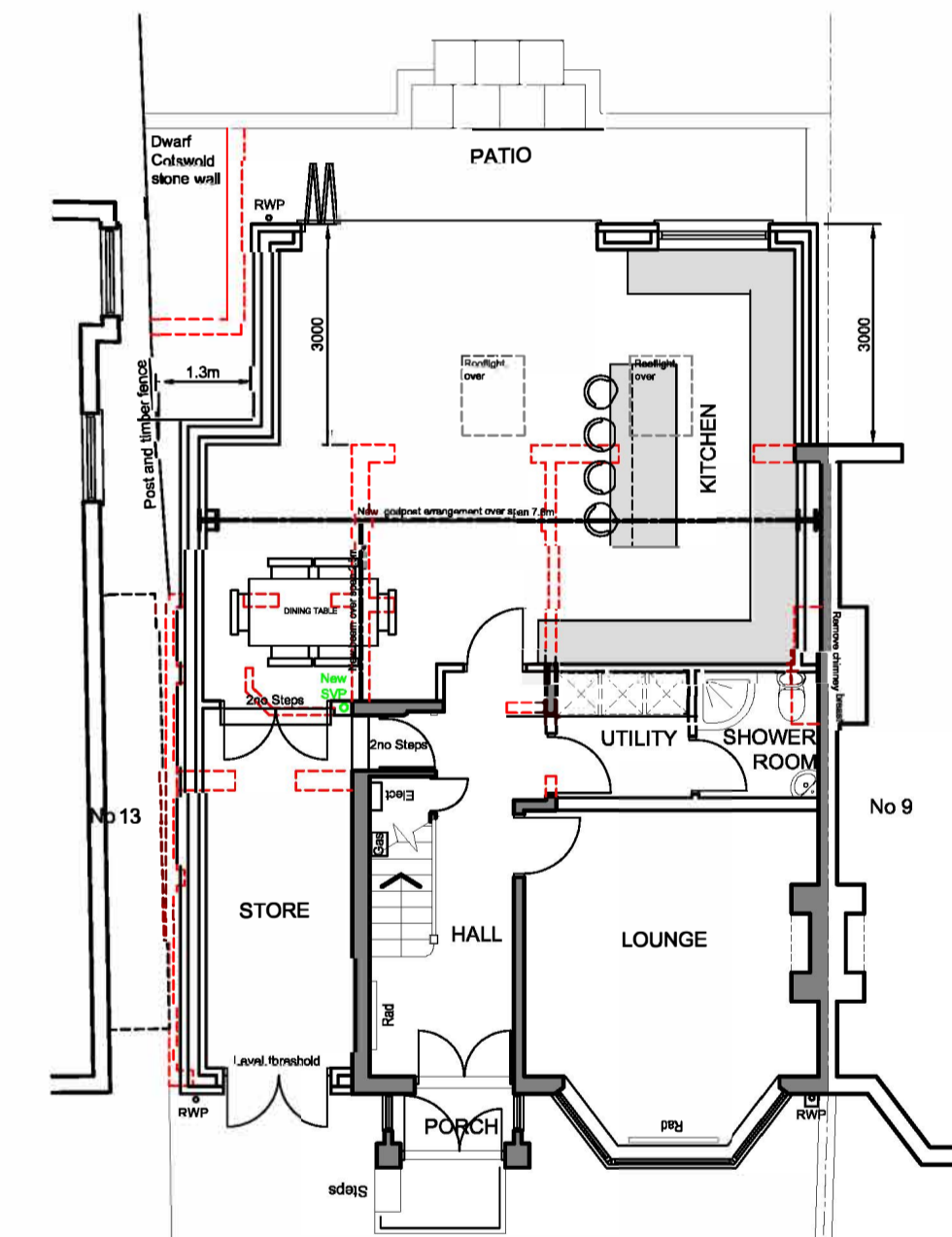
EXISTING REAR ELEVATION



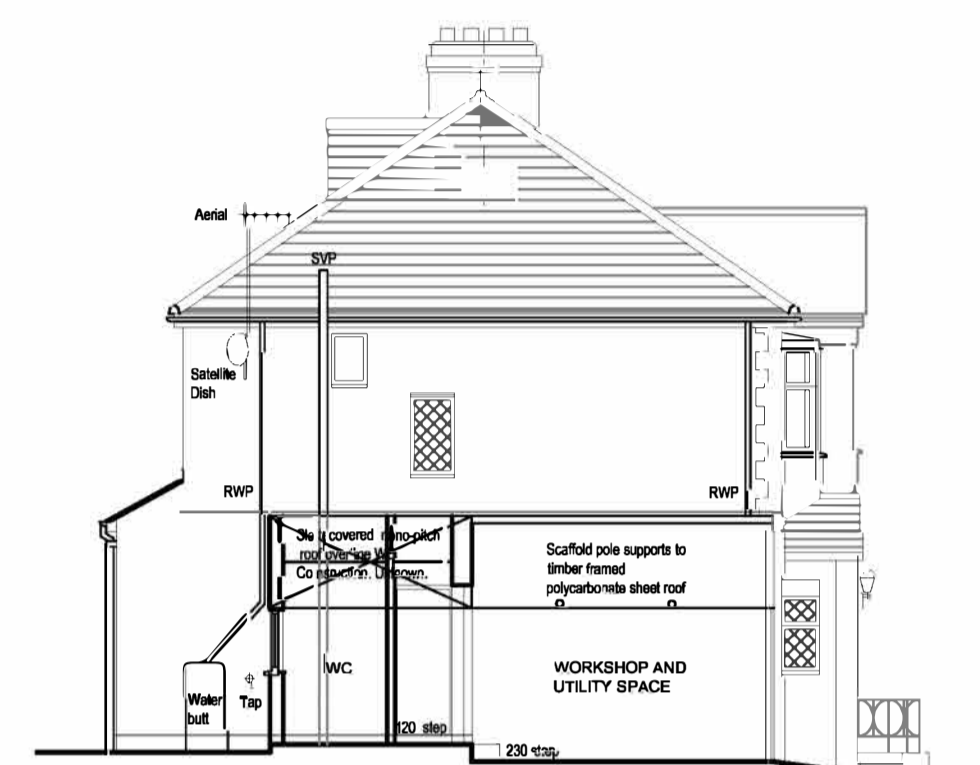
PROPOSED LOFT PLAN



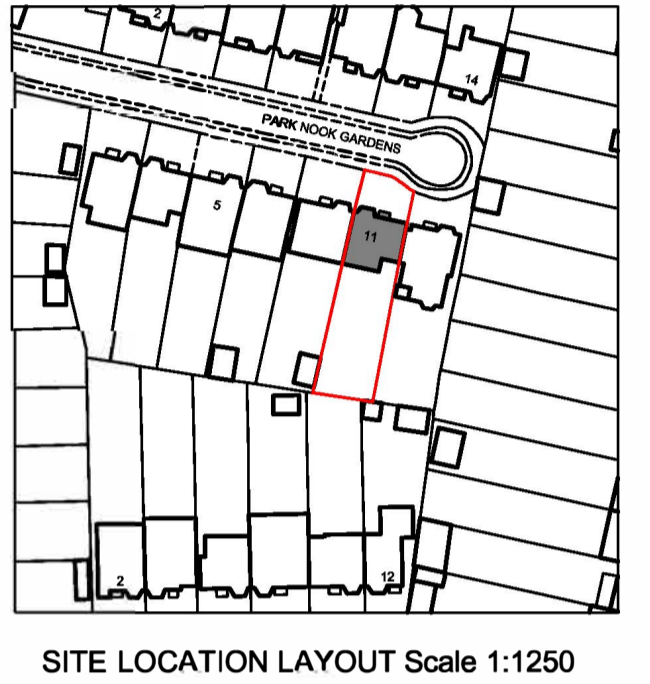
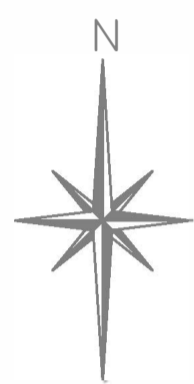
PROPOSED FIRST FLOOR LAYOUT



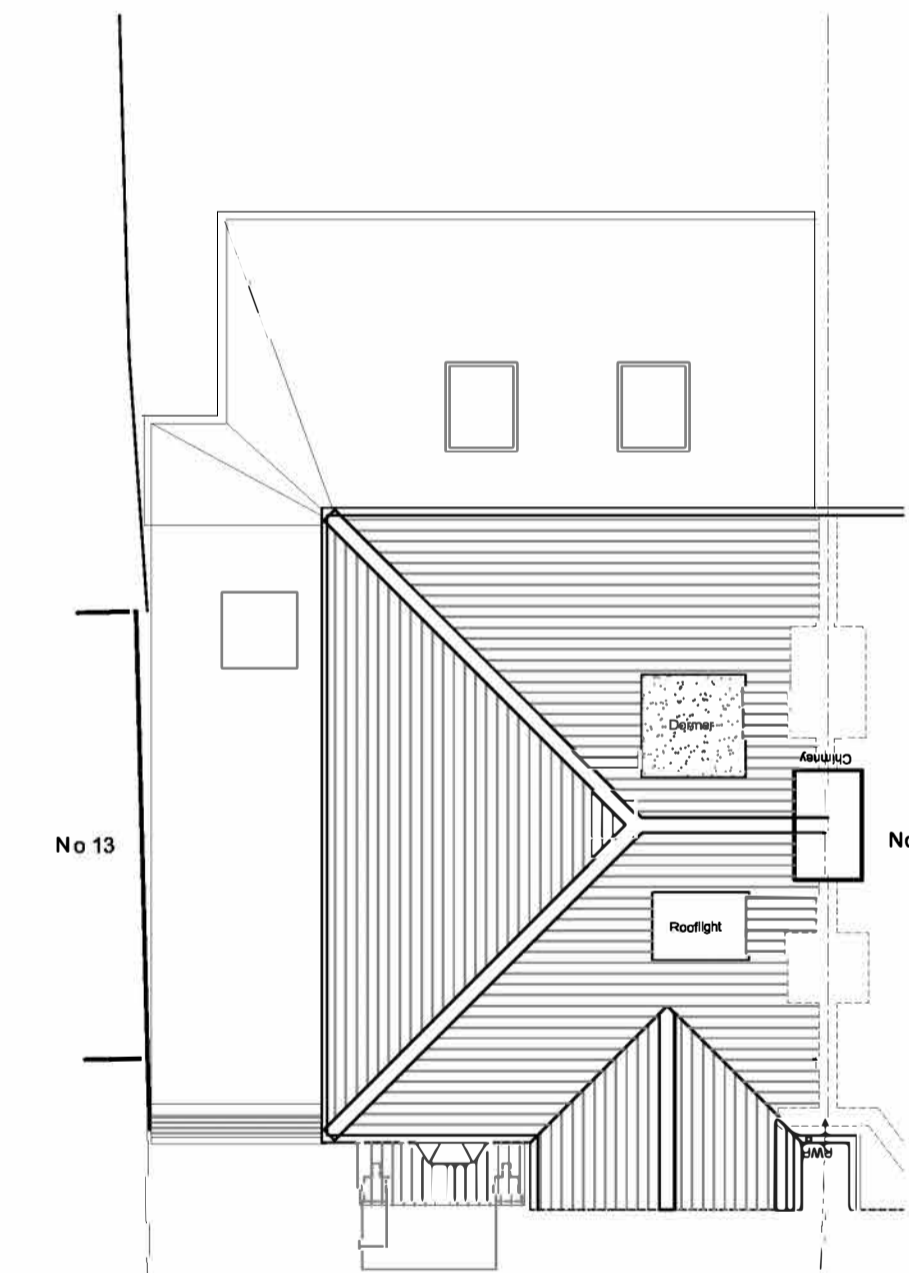
PROPOSED GROUND FLOOR LAYOUT



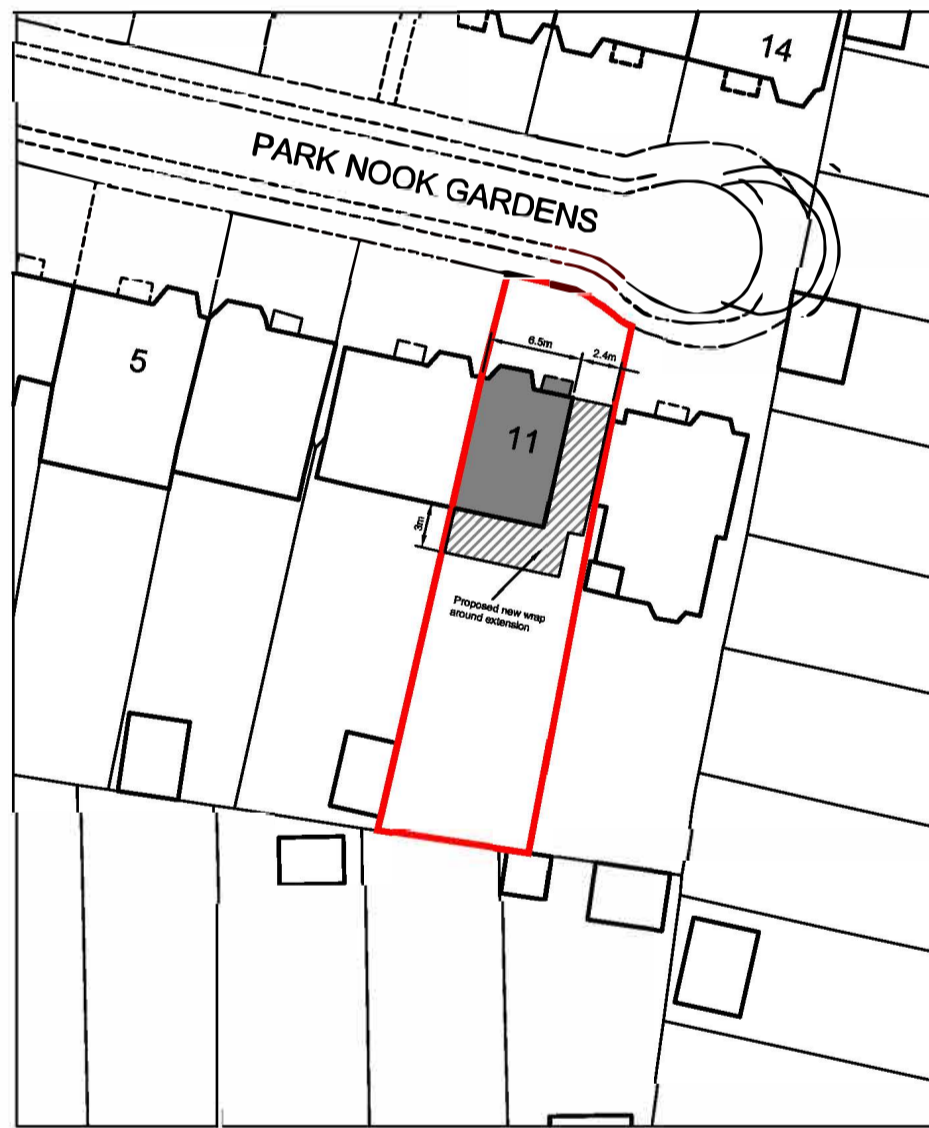
EXISTING SIDE ELEVATION



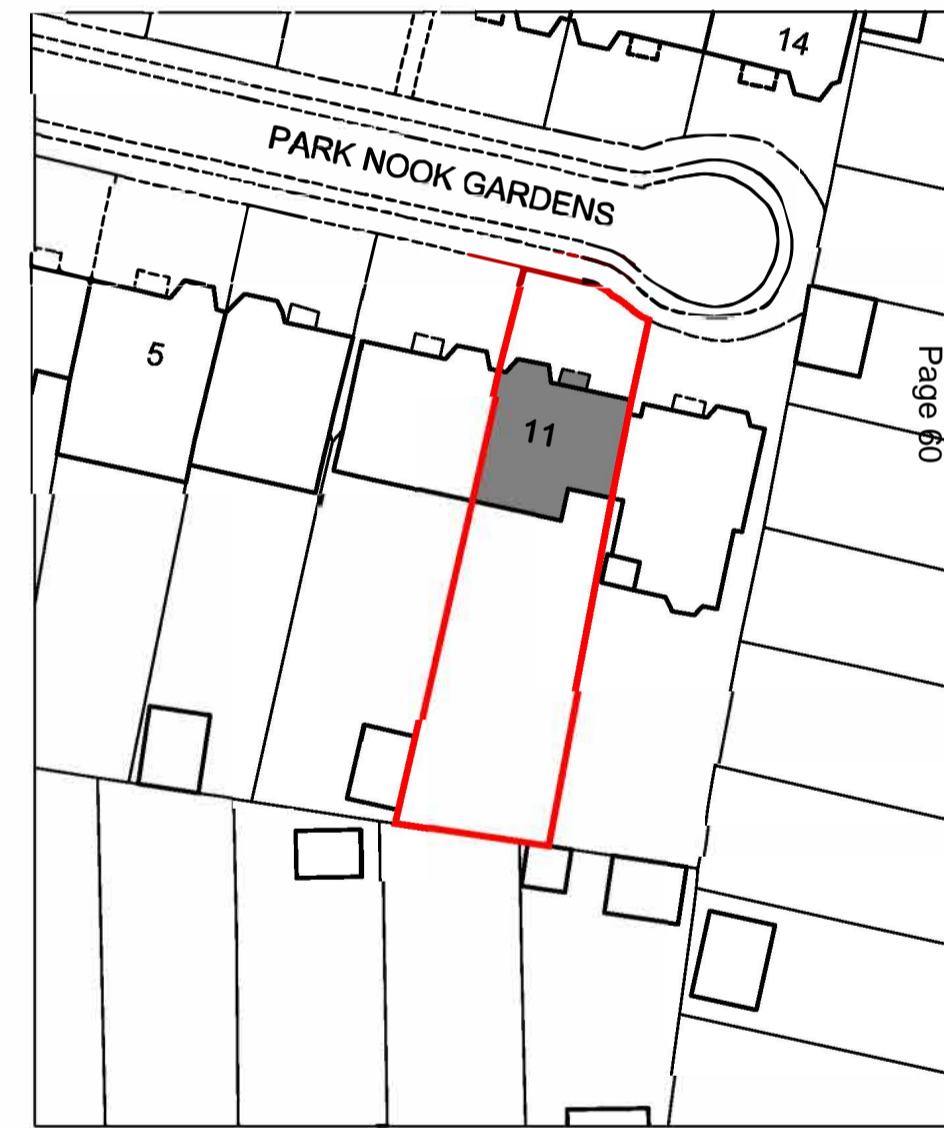
SITE LOCATION LAYOUT Scale 1:1250



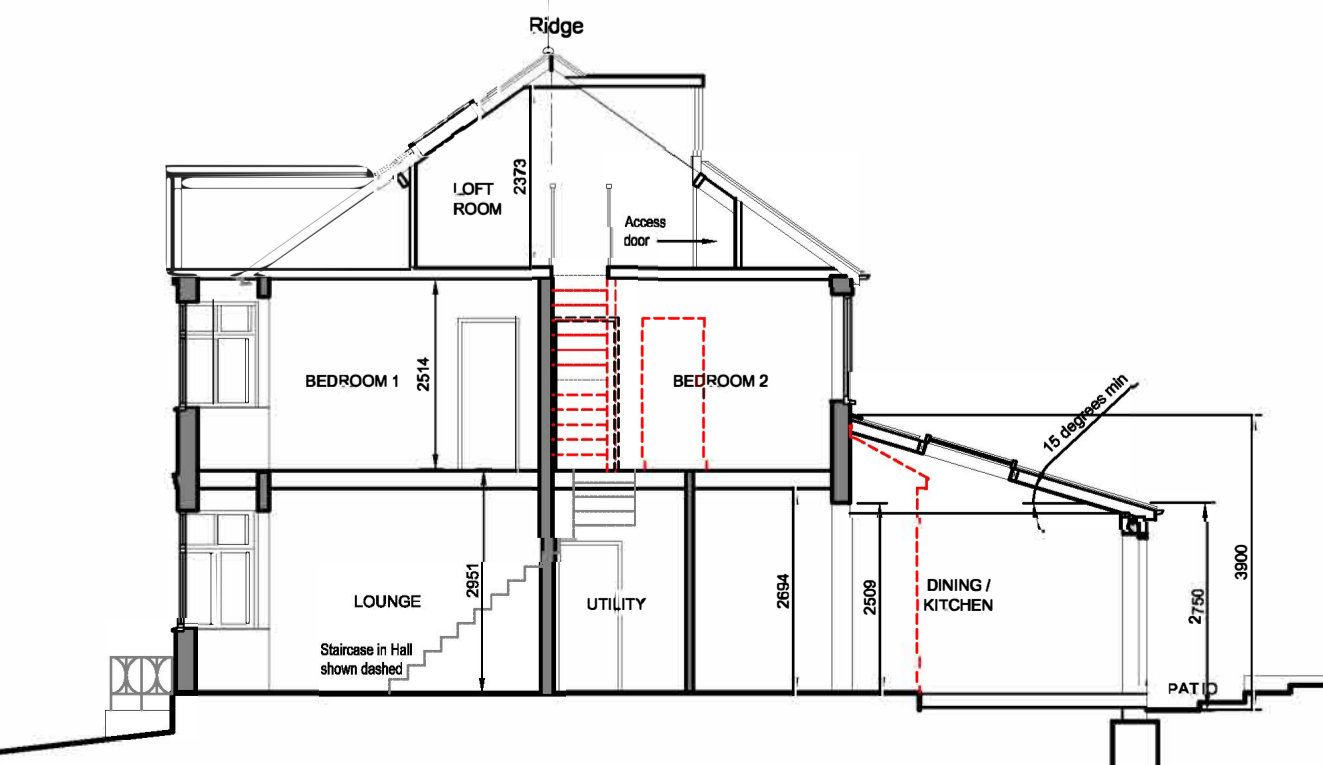
PROPOSED ROOF PLAN



PROPOSED BLOCK PLAN Scale 1:500



EXISTING BLOCK PLAN Scale 1:500



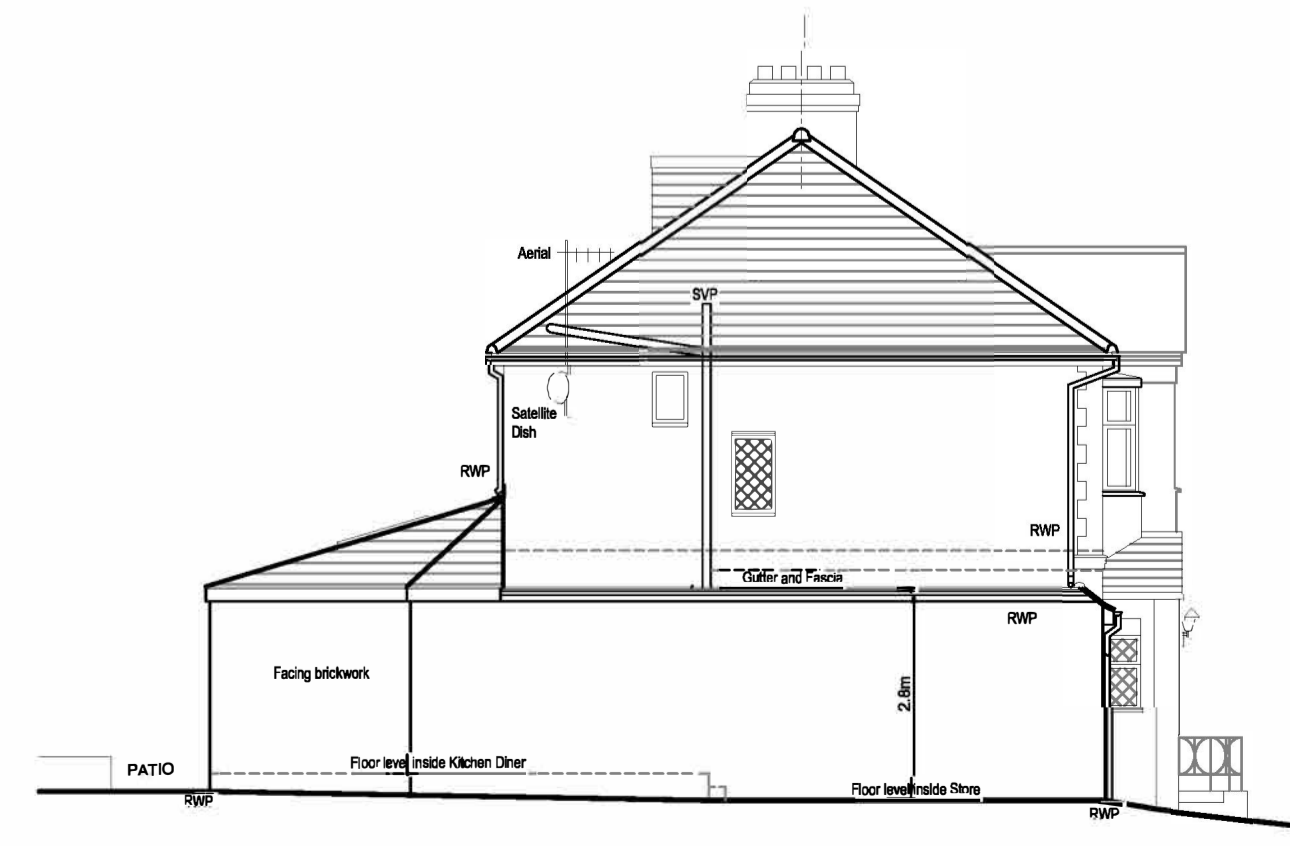
PROPOSED CROSS SECTION



PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION

C - 03-08-2022 - REAR EXTENSION REDUCED IN WIDTH, ROOF REVISED.
 B - 01-08-2022 - LOFT REMOVED, SIDE EXTENSION REDUCED IN HEIGHT WITH REVISED ROOF.
 A - 08-06-2022 - PROPOSED BLOCK PLAN ADDED.

TEL - 0203 623 2400 - MOB - 0791 7 865 403
 EMAIL - INFO@CAPITALARCHITECTURALDESIGN.COM
 189 CAT HILL, COCKFOSTERS EN4 8HS

PROJECT
**PROPOSED EXTENSION
 TO 11 PARK NOOK GARDENS
 ENFIELD EN2 0HT**

CLIENT
LOUISE HARRIES

CLIENT REF

DRAWING
**EXISTING & PROPOSED PLANS,
 SECTIONS, ELEVATIONS AND
 LOCATION PLANS**

SCALE	DATE	DRAWING NO.	REV
1:50			
1:100	MARCH 2022	2022/934-100	C
1:1250			

All dimensions must be checked on site, errors and omissions must be reported. This drawing is subject to Copyright ©

LONDON BOROUGH OF ENFIELD		
PLANNING COMMITTEE	Date: 20th June 2023	
Report of Director of Planning & Growth - Brett Leahy	Contact Officers: Tendai Mutasa Sharon Davidson	Category Minor
Ward Town	Councillor Request Cllr Emma Supple	
LOCATION: 24 - 26 Churchbury Lane, Enfield, EN1 3TY		
APPLICATION NUMBER: 22/02248/FUL		
PROPOSAL: Demolition of the existing buildings providing supported living accommodation and erection of a detached 2-storey building with additional accommodation in the roof area, to provide four class C3(b) uses (up to six people living together as a single household and receiving care) and provision of associated car parking, cycle parking and refuse/recycle storage.		
Applicant Name & Address: Mr Paul Buxton 163 Church Hill Road East Barnet EN4 8PQ		Agent Name & Address: Mr Joe Henry 163 Church Hill Road East Barnet EN4 8PQ
Recommendation: <ol style="list-style-type: none"> 1. That the Head of Development Management be authorised to GRANT planning permission subject to conditions listed in this report: 2. That the Head of Development Management be granted delegated authority to agree the final wording of the conditions. 		

Ref: 22/02248/FUL LOCATION: 24 - 26 Churchbury Lane, Enfield, EN1 3TY,



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Scale 1:1250

North



1 Note for Members

- 1.1 Although an application of this scale and nature would normally be determined under delegated authority, the application has been reported to committee for determination at the request of Councillor Emma Supple due to the local interest.

2 Recommendation

1. That the Head of Development Management be authorised to GRANT planning permission subject to conditions outlined below:
2. That the Head of Development Management be granted delegated authority to agree the final wording of the conditions.

Conditions:

1. Time limit
2. Approved plans
3. The flank windows on the side elevations shall be fixed/obscure-glazed
4. Details of materials
5. Water consumption
6. Energy statement
7. Details of access and parking arrangements, including electric charging provision.
8. Details of levels
9. Details of refuse
10. Details of enclosure, boundary treatments
11. Details of cycle parking
12. Private vehicles only – parking areas
13. Construction Management Plan
14. Tree Protection measures/method of construction of cycle store
15. SUDS
16. Restriction on number of residents (maximum 19)
17. Use class restriction Class C3b only
18. Delivery and servicing
19. Landscaping details and replacement tree planting.
20. Biodiversity enhancement provision

3 Executive Summary

- 3.1 The applicant seeks permission for the demolition of the existing building that provide supported living accommodation and erection of a detached 2-storey building with additional accommodation in the roof area, to provide four class C3(b) uses (up to six people living together as a single household and receiving care) and provision of associated car parking, cycle parking and refuse/recycle storage.

- 3.2 This application follows a recent refusal of planning permission under application reference 20/02821/FUL. An appeal against this decision (appeal reference number APP/Q5300/W/21/3273405) was dismissed on 8 April 2022.

3.3 The appeal Inspector raised no concerns regarding:

- the design, height and massing of the proposed building and found no harm to character and appearance of the area;
- harm to the amenities of the occupiers of Nos. 1 and 3 Fyfield Road in terms of light, outlook or privacy;
- the level of parking provision to support the quantum of development proposed.

3.4 However, the Inspector did find harm from:

- overlooking and loss of privacy to number 28 Churchbury Lane from proposed side windows.
- quality of accommodation for future residents in terms of floorspace, ceiling heights and amenity space;
- the accessibility of the parking spaces to the rear of the site and the requirement to reverse onto Churchbury Lane to leave the site;
- lack of clarity over deliveries and servicing;
- the lack of a tree survey and impact assessment meant the impact on trees and the tree the subject of the TPO was not known.
- Lack of information on sustainable drainage

3.5 In response, this application now proposes obscure or partially obscure glazed windows to the flank elevation of the new building along the shared boundary with number 28. The floor areas of the self-contained supported living units meet or exceed the minimum floor space standards for 1 person units. Ceiling heights have increased to 2.5m to meet the relevant guidelines for the ground and first floor accommodation, with the 2nd floor accommodation achieving 2.8m. Amenity space has been apportioned so one of the ground floor units and the 5 bedspace cluster have access to some private space, with the communal space separated from this and away from habitable windows of the ground floor units. The number of parking spaces in the rear garden has been reduced from 5 to 3, with the turning area available sufficient to ensure cars are able exit the site in forward gear. A tree survey and impact assessment has been submitted identifying the trees for removal and the protection measures for the protected tree. Clarity is being sought on the servicing and delivery arrangements to support the use and an update will be provided at the meeting. Notwithstanding, no objections are raised to the impact of the development on highway safety grounds by the Transportation Team. A drainage strategy has been provided.

3.6 The Inspector accepted conditions could be used to cover a construction management plan.

3.7 Having regard to the above, it is considered that the reasons for refusal have now been overcome and hence the recommendation is for approval subject to conditions as identified above.

4 Site Description

4.1 The subject site is located on Churchbury Lane opposite the junction with Fyfield Road.

- 4.2 The site contains a pair of semi-detached two storey buildings, with access for vehicle parking shared between Nos.26 and 28 to the north and a driveway to the west providing access to an outbuilding (garage) for No.24.
- 4.3 The site is currently used for the accommodation of 5 adults with physical and learning disabilities.
- 4.4 The site contains several trees to the front, side and rear. The mature Ash tree to the rear is the subject of a Tree Preservation Order (TPO - NO 107 1980).
- 4.5 The site is not located within a conservation area nor is it statutorily or locally listed.

5 Proposal

- 5.1 This application proposes the demolition of the existing buildings which provide supported living accommodation for 5 residents and the erection of a detached 2-storey building with additional accommodation in the roof area, to provide four class C3(b) uses (up to six people living together as a single household and receiving care) and provision of associated car parking to the front and side, cycle parking and refuse/recycle storage. The applicants have outlined that the development would consist of 4 clusters of accommodation. They will share a common single entry point to the south elevation of the building. The clusters are as follows:
- Cluster 1(Ground Floor) – 2 x 1person self-contained units with a small ancillary office space and toilet;
 - Cluster 2 (Ground Floor) - 5 individual bedrooms with ensuite facilities, shared living, eating and cooking facilities, shared special care bathroom and WC, ancillary office space and toilet facilities;
 - Cluster 3 (First Floor) – 6 x 1 person self-contained units, shared living, dining and cooking space, ancillary office and WC
 - Cluster 4 (Second floor)– 6 x 1 person self-contained units, shared living, dining and cooking facilities, ancillary off and WC.
- 5.2 Five parking spaces in total are proposed; two to the site frontage and 3 to the rear garden area. Refuse storage and cycle parking spaces are proposed to the rear.

6 Relevant Planning History

24 Churchbury Lane

- 6.1 TP/04/2322 - Part single, part two storey side and rear extension. (Revised scheme). Granted With Conditions 30 Dec 2004. This permission was implemented in 2005

26 Churchbury Lane

6.2 TP/05/1193 - Single storey rear extension (retrospective). Granted 03 Aug 2005

24-26 Churchbury Lane

6.3 20/02821/FUL - Demolition of the existing buildings providing supported living accommodation and erection of a detached 2-storey building with additional accommodation in the roof area, to provide four class C3(b) uses (up to six people living together as a single household and receiving care) and provision of associated car parking to the front and side, cycle parking and refuse/recycle storage. Refused 18.03.2021 for the following reasons:

1. The proposed development, by virtue of inadequate floor areas, floor to ceiling heights, internal layouts, poor quality of outlook, insufficient natural light, the insufficient provision of private/communal amenity space and required measures to ensure privacy would result in substandard accommodation and be harmful to the amenities of future occupiers, contrary to Policy D6 of the London Plan (2021), Policies CP4 and CP30 of the Enfield Core Strategy (2010), Policies DMD6, DMD8 and DMD9 of the Enfield Development Management Document (2014).
2. The proposed development, by virtue of its form, height, depth, bulk, massing and detailed design would appear visually intrusive, overly dominant and out of keeping with the character and appearance of the streetscene of which it forms part and the surrounding area, contrary to the Policies D3 and D4 of the London Plan (2021), Policy CP30 of the Enfield Core Strategy (2010) and Policies DMD8 and DMD37 of the Enfield Development Management Document (2014).
3. The proposed development, by virtue of its size, proximity and siting would give rise to an unneighbourly loss of privacy as perceived from neighbouring properties including No. 28 Churchbury Lane and Nos.1 and 3 Fir Tree Walk, contrary to Policies D3 and D6 of the London Plan (2021), Policies CP4 and CP30 of the Enfield Core Strategy (2010) and Policies DMD8 and DMD10 of the Enfield Development Management Document (2014).
4. The proposed development, in the absence of an adequate justification to demonstrate vehicle parking commensurate with the use proposed, would give rise to conditions prejudicial to the free flow and safety of vehicular traffic and fail to promote or prioritise the use of sustainable modes of transport or reduce car use, contrary to Policies T4, T6 and T6.1 of the London Plan (2021), Policies CP 24 and CP25 of the Enfield Core Strategy (2010) and Policies DMD45, DMD47 and DMD48 of the Enfield Development Management Document (2014).
5. The proposed development, in the absence of a legal agreement securing a construction and demolition management plan, would be likely to give rise to conflicts with other road users and be detrimental to the amenities of the area generally, contrary to Policy T7 of the London Plan (2021), Policy CP24 and 32 of the Enfield Core Strategy 2010 and Policies DMD48 and DMD 68 of the Enfield Development Management Document 2014.
6. The proposed development, in the absence of an adequate arboriculture report, has failed to demonstrate that the proposal would retain and protect trees (including those the subject of a Tree Preservation Order) of visual amenity and

biodiversity value within the site / in adjacent sites and the surrounding area, contrary to Policy G7 of the London Plan (2021), Policies CP30 of the Enfield Core Strategy (2010) and Policies DMD37 and DMD80 of the Enfield Development Management Document (2014) and the British Standard for Trees in relation to design, demolition and construction (BS 5837:2012).

7. The proposed development, in the absence of an adequate sustainable drainage strategy, fails to demonstrate how proposed measures manage the risk of flooding from surface water run-off and follow the drainage hierarchy in the London Plan, contrary to Policy SI 13 of the London Plan (2021), Policies CP21 and CP28 of the Enfield Core Strategy (2010), Policies DMD59, DMD60, DMD61 and DMD62 of the Enfield Development Management Document (2014) and the Enfield Strategic Flood Risk Assessment (2008).

- 6.4 The subsequent appeal against this decision was dismissed. The Inspector did not support the Council's decision in terms of reasons 2, and 5, accepting in relation to reason 5 that a construction management plan could be secured by condition. He partially supported the Council's decision in respect of reason 3, accepting a harmful impact on No.28 Churchbury arising from windows in the side facing elevation but considered there would be no harmful impact on the amenities of the occupiers of 1 and 3 Fyfield Road. He did not support the Council's concern about the level of parking but did raise concerns about the inability of vehicles to exit the rear parking spaces in a forward gear. He supported the Council's decision in terms of the quality of the accommodation to be provided, lack of information on servicing and delivery and the lack of information to assess impact on trees and flood risk
- 6.5 TP/05/1025 - Use of single-family dwelling house as a residential care home for 5 people with learning and physical disabilities. Granted With Conditions 21 Jul 2005
- 6.6 21/02621/FUL - Change of use from Care Home(C2) into 8 supported Living accommodation units with 24 hour care involving two-storey side, rear and roof extensions, rear rooflights, Juliet balconies and associated works. – Refused on 27.09.2021 for the following reasons:
 - The proposed development, by virtue of its form, height, depth, bulk, massing and detailed design would appear visually intrusive, overly dominant and out of keeping with the character and appearance of the streetscene of which it forms part and the surrounding area, contrary to Policies CP30 of the Enfield Core Strategy (2010), DMD8 and DMD37 of the Enfield Development Management Document (2014), D3 and D4 of the London Plan (2021) and the National Planning Policy Framework 2021 as a whole.
 - The proposed development, in the absence of an adequate arboriculture report, has failed to demonstrate that the proposal would retain and protect trees (including those the subject of a Tree Preservation Order) of visual amenity and biodiversity value within the site / in adjacent sites and the surrounding area, contrary to Policies CP30 of the Enfield Core Strategy (2010), DMD37 and DMD80 of the Enfield Development Management Document (2014), G7 of the London Plan (2021), the National Planning Policy Framework 2021 as a whole and the British Standard for Trees in relation to design, demolition and construction (BS 5837:2012).

6.7 This refusal was not appealed.

7 Consultation

7.1 Statutory and Non-Statutory Consultees

7.1.1 Transport – No objections subject to conditions.

7.1.2 SUDS – No objections subject to conditions.

7.1.3 Trees – The Tree Officer raises no objection to the removal of the 7 category U trees proposed. However, the proposal to plant 14 new trees within the root protection area of the protected Ash Tree raises concerns. Whilst new tree planting would ordinarily be encouraged, planting so many trees in this location would be undesirable in the long term, as they would ultimately compete with the existing tree for light, moisture and nutrients. A more appropriate proposal is required. The bike store as proposed is located within the root protection area of the protected Ash and this is not considered as part of the Arboricultural Report submitted, which shows it in a different position. Further details are required on the protective fencing to be installed during the construction period. A soft landscaping scheme ought to be required through condition.

7.1.4 Officer comment – The provision of new tree planting can be secured by condition. Given the limited size of the garden space on site, it is considered more appropriate to plant fewer trees that have a better chance of reaching maturity. This should be to rear garden area and to the front of the building. Conditions requiring details of the landscaping proposals and new tree planting, together with details of tree protection measures during the construction process and a method statement for the construction of the cycle store are recommended.

7.2 Public Consultation

7.2.1 Addresses notified (22) Representations received (14) and Summary:

A total of 14 representations have been received, and the issues raised have been summarised below given additional comment in the body of the report:

Summary of responses

- Overdevelopment
- Incorrect use proposed
- Strain on existing community facilities
- Out of Keeping with the character of area
- Detrimental scale of building proposed
- Detrimental impact on privacy / light
- Detrimental proximity to neighbouring building
- Loss of privacy to houses and gardens
- Windows and balconies overlook gardens
- Detrimental impact on parking
- Insufficient parking provision
- Increased congestion/pollution

- Traffic volume and noise will be increased
- Affect local ecology/TPO trees

Officers' response

Whilst these objections are noted a number of the issues raised have been considered by the Inspector at appeal and have not been supported, particularly related to the principle of this form of development, the nature of the use, the number of residents to be accommodated, the size/form and massing of the building and the level of parking provision. Other matters raised are assessed in the analysis section of this report.

8 Relevant Planning Policies

8.1 Section 70(2) of the Town and Country Planning Act 1990 requires the Committee have regard to the provisions of the development plan so far as material to the application: and any other material considerations. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires planning decisions to be made in accordance with the development plan unless material considerations indicate otherwise.

8.2 National Planning Policy Framework (NPPF) 2021

8.2.1 The National Planning Policy Framework (NPPF) introduces a presumption in favour of sustainable development. In this respect, sustainable development is identified as having three dimensions - an economic role, a social role and an environmental role. For decision taking, this presumption in favour of sustainable development means:

a) an economic objective – to help build a strong, responsive and competitive economy, by ensuring that sufficient land of the right types is available in the right places and at the right time to support growth, innovation and improved productivity; and by identifying and coordinating the provision of infrastructure;

b) a social objective – to support strong, vibrant and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering a well-designed and safe built environment, with accessible services and open spaces that reflect current and future needs and support communities' health, social and cultural well-being; and

c) an environmental objective – to contribute to protecting and enhancing our natural, built and historic environment; including making effective use of land, helping to improve biodiversity, using natural resources prudently, minimising waste and pollution, and mitigating and adapting to climate change, including moving to a low carbon economy.

8.2.3 The NPPF recognises that planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. The NPPF does not change the statutory status of the development plan as the starting point for decision making.

8.2.4 In relation to achieving appropriate densities Paragraph 124 of the NPPF notes that planning policies and decisions should support development that makes efficient use of land, whilst taking into account:

a) the identified need for different types of housing and other forms of development, and the availability of land suitable for accommodating it;

b) local market conditions and viability;

c) the availability and capacity of infrastructure and services – both existing and proposed – as well as their potential for further improvement and the scope to promote sustainable travel modes that limit future car use;

d) the desirability of maintaining an area's prevailing character and setting (including residential gardens), or of promoting regeneration and change; and

e) the importance of securing well-designed, attractive and healthy places.

8.2.5 Paragraph 48 of the NPPF details when weight may be given to relevant emerging plans. This guidance states that the stage of preparation, the extent to which there are unresolved objections and the degree of consistency of relevant policies to the Framework are relevant.

Housing Delivery Test / Presumption in Favour of Sustainable Development:

8.2.6 The NPPF sets out at Paragraph 11 a presumption in favour of sustainable development. For decision taking this means:

"(c) approving development proposals that accord with an up-to date development plan without delay; or

(d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date (8), granting permission unless:

(i) the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed (7); or

(ii) any adverse impacts of so doing would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole.

8.2.7 Footnote (8) referenced here advises "This includes, for applications involving the provision of housing, situations where the local planning authority cannot demonstrate a 5 year supply of deliverable housing sites (with the appropriate buffer, as set out in paragraph 74); or where the Housing Delivery Test indicates that the delivery of housing was substantially below (less than 75% of) the housing requirement over the previous 3 years."

8.2.8 In summary, the presumption in favour of sustainable development applies in two situations – where a Council is unable to demonstrate a five-year housing land supply, and when a Council fails to achieve 75 per cent or more in the Housing Delivery Test.

8.2.9 Enfield Council currently fails against both criteria – and is therefore subject to the most severe government sanctions which impact the Council's consideration of housing-led planning applications.

- a) **5-year housing land supply:** Members will be aware of the need to be aware of the Council's housing land supply – and how it impacts on decision making. When there is not an up-to-date Local Plan and 5-year housing land supply cannot be demonstrated then this has a significant impact on the weight given to material planning considerations. The NPPF presumption, or 'tilted balance', applies in Enfield due to the Council's inability to demonstrate the required five-year housing land supply. The Council is unable to demonstrate a 5-year supply of deliverable housing sites and this impacts on the status of its Local Plan policies.
- b) **Housing delivery test:** The NPPF presumption, or 'tilted balance', also applies in Enfield because Enfield is one of 51 Councils which have achieved below 75 per cent against the Housing Delivery Tests – it is therefore also subject to the Housing Delivery Tests most severe government sanction, the NPPF's presumption in favour of sustainable development.

8.2.10 The Housing Delivery Test (HDT) is an annual measurement of housing delivery introduced by the Government through the NPPF. It measures the performance of local authorities by comparing the completion of net additional homes in the previous three years to the housing targets adopted by local authorities for that period.

8.2.11 Local authorities that fail to meet 95% of their housing targets need to prepare a Housing Action Plan to assess the causes of under delivery and identify actions to increase delivery in future years. Local authorities failing to meet 85% of their housing targets are required to add 20% to their five-year supply of deliverable housing sites targets by moving forward that 20% from later stages of the Local Plan period. Local authorities failing to meet 75% of their housing targets in the preceding 3 years are placed in a category of "presumption in favour of sustainable development".

8.2.12 The Council's recent housing delivery has been below our housing targets. This has translated into the Council being required to prepare a Housing Action Plan in 2019 and being placed in the "presumption in favour of sustainable development category" by the Government through its Housing Delivery Test. This status has recently been confirmed for the period 2022-23.

8.2.13 In 2020 Enfield delivered 56% of the 2,328 homes target and was as a result placed into the "presumption in favour of sustainable development" category. In January 2021 Enfield delivered 67% of its homes target. The Council therefore remains in the "presumption in favour of sustainable development".

8.2.14 This is referred to as the "tilted balance" and the NPPF states (see paragraph 8.6 above) that for decision-taking this means granting permission unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole – which also includes the Development Plan.

8.2.15 Under the NPPF paragraph 11(d) where the most important development plan policies for the application are deemed to be 'out of date', planning permission should be granted. That does not mean out of date policy can be disregarded, but it means that less weight can be applied to it, and applications for new homes should be given weight

by the Planning Committee when undertaking their assessment taking account of the “tilted” balance that applies. The level of weight given is a matter of planning judgement and the statutory test continues to apply, that the decision should be, as section 38(6) of the Planning and Compulsory Purchase Act 2004 requires, in accordance with the development plan unless material considerations indicate otherwise.

8.3 London Plan (2021)

8.3.1 The London Plan together with Enfield’s Local plan forms the Development Plan for this application. It is the overall strategic plan for London setting out an integrated economic, environmental, transport and social Framework for the development of London for the next 20-25 years. The following policies of the London Plan are considered particularly relevant:

- Policy D3 Optimising site capacity through the design-led approach
- Policy D4 Delivering good design
- Policy D5 Inclusive design
- Policy D6 Housing quality and standards
- Policy D7 Accessible housing
- Policy D14 Noise
- Policy H10 Housing size mix
- Policy H12 Supported and specialised accommodation
- Policy G6 Biodiversity and access to nature
- Policy G7 Trees and woodlands
- Policy SI 1 Improving air quality
- Policy SI 2 Minimising greenhouse gas emissions
- Policy SI 13 Sustainable drainage
- Policy T3 Transport capacity, connectivity and safeguarding
- Policy T4 Assessing and mitigating transport impacts
- Policy T5 Cycling
- Policy T6 Car parking
- Policy T6.1 Residential parking
- Policy T7 Deliveries, servicing and construction

8.4 Enfield Core Strategy

8.4.1 The Core Strategy was adopted in November 2010 and sets out a spatial planning framework for the development of the Borough through to 2025. The document provides the broad strategy for the scale and distribution of development and supporting infrastructure, with the intention of guiding patterns of development and ensuring development within the Borough is sustainable. The following policies of the Core Strategy is considered particularly relevant:

- CP4: Housing quality
- CP5: Housing types
- CP6: Meeting Particular Housing Needs
- CP20: Sustainable energy use and energy infrastructure
- CP21: Delivering sustainable water supply, drainage and sewerage infrastructure
- CP24: The road network
- CP25: Pedestrians and cyclists
- CP26: Public transport
- CP28: Managing flood risk through development

CP30: Maintaining and improving the quality of the built and open environment
CP32: Pollution
CP36: Biodiversity

8.5 Enfield Development Management Document

8.5.1 The Council's Development Management Document (DMD) provides further detail and standard based policies by which planning applications should be determined. Policies in the DMD support the delivery of the Core Strategy. The following local plan Development Management Document policies are considered particularly relevant:

DMD3 Providing a Mix of Different Sized Homes
DMD4 Loss of Existing Residential Units
DMD6 Residential Character
DMD8 General Standards for New Residential Development
DMD9 Amenity Space
DMD 10 Distancing
DMD15 Specialist Housing Needs
DMD37 Achieving High Quality Design-Led Development
DMD38 Design Process
DMD45 Parking Standards
DMD47 New Roads, Access and Servicing
DMD48 Transport Assessments
DMD49 Sustainable Design and Construction Statements
DMD50 Environmental Assessment Methods
DMD51 Energy Efficiency Standards
DMD53 Low and Zero Carbon Technology
DMD58 Water Efficiency
DMD61 Managing Surface Water
DMD65 Air Quality
DMD68 Noise
DMD69 Light Pollution
DMD70 Water Quality
DMD72 Open Space Provision
DMD79 Ecological Enhancements
DMD80 Trees on Development Sites
DMD81 Landscaping

8.6 Enfield Local Plan (Regulation 18) 2021

8.6.1 Work on a New Enfield Local Plan has commenced so the Council can proactively plan for appropriate sustainable growth, in line with the Mayor of London's "good growth" agenda, up to 2041. The Enfield New Local Plan will establish the planning framework that can take the Council beyond projected levels of growth alongside key infrastructure investment. As the emerging Local Plan progresses through the plan-making process the draft policies within it will gain increasing weight but at this stage it has relatively little weight in the decision-making process.

8.6.2 Key local emerging policies from the plan are listed below:

Policy DM SE2	Sustainable design and construction
Policy DM SE4	Reducing energy demand

Policy DM SE5	Greenhouse gas emissions and low carbon energy supply
Policy DM SE7	Climate change adaptation and managing heat risk
Policy DM SE8	Managing flood risk
Policy DM SE10	Sustainable drainage systems
Policy SPBG3	Biodiversity net gain, rewilding and offsetting
Policy DM BG8	Urban greening and biophilic principles
Policy DM DE1	Delivering a well-designed, high-quality and resilient environment
Policy DM DE2	Design process and design review panel
Policy DM DE11	Landscape design
Policy DM DE13	Housing standards and design
Policy DM H3	Housing mix and type
Policy DM T2	Making active travel the natural choice
Policy SP D1	Securing contributions to mitigate the impact of development

8.7 Other Material Considerations

National Planning Practice Guidance
London Housing SPG (2016)
DCLG Technical Housing Standards (2015)
Refuse and Recycle Storage Guide Enfield (2020)

9 **Analysis**

9.1 The principal considerations material to the determination of this application are considered as follows:

- Land Use
- Design
- Impact on occupying and neighbouring amenity
- Transport
- Trees
- Biodiversity
- Energy and Sustainability
- Sustainable Drainage Systems (SuDS)
- Community Infrastructure Levy (CIL)

9.2 This application follows a refusal of planning application number 20/02821/FUL which was refused and appealed. The appeal (reference APP/Q5300/W/21/3273405) was dismissed on 8 April 2022 and a summary of the Inspectors findings is given above. This decision carries significant weight in this assessment.

Land Use

9.3 Permission was granted in 2005 (TP/05/1025) for the use of the site as a residential care home for 5 people with learning and physical disabilities. The submitted documents forming part of this application noted:

- All of the residents need a high level of support because of their physical disabilities which includes periodic care over the 24 hour period and the provision of personal care. It is anticipated that three members of staff will be at the

premises during the day with one or two at night. The plans indicate the provision of a staff bedroom but staff would normally be awake and they would not reside at the premises. Additional parking space has been provided for staff and visitors and 6 off-street spaces are available.

9.4 Condition 2 of this planning permission number requires:

- Notwithstanding the provisions of the Town and Country Planning Use Classes Order 1987, or any amending Order, the premises shall only be used for the accommodation of adult residents with physical and learning disability and shall not be used for any other form of accommodation or purpose within use class C2. Reason: To safeguard the residential amenities of adjoining occupiers.

9.5 The site is therefore established to provide supported living accommodation for 5 people.

9.6 With respect to the current application, the applicant's description reads:

- Demolition of the existing buildings providing supported living accommodation and erection of a detached 2-storey building with additional accommodation in the roof area, to provide four class C3(b) uses (up to six people living together as a single household and receiving care) and provision of associated car parking to the front and side, cycle parking and refuse/recycle storage.

9.7 The submitted documents forming part of this application noted:

- Residents live in an environment where they have control over their day to day lives but with the ability to immediately call upon a range of flexible services. Level of care and services provided can increase or decrease dependent upon the needs of the individual.

9.8 The nature of the proposal is therefore for 'assisted' or 'supported living', with residents being able to reside in the property with supervision (Use Class C3(b)). Four clusters of accommodation are proposed, with some comprising single person self-contained accommodation and access to shared facilities and one comprising a group of en-suite bedrooms with access to shared living/kitchen and dining facilities. This was the description of development applied to the earlier application, the subject of the appeal and was accepted by the appeal Inspector.

9.9 The proposal does not result in the loss of a conventional single family residential unit, as the permitted use of the property is as a residential care home for 5 people with learning and physical disabilities. Instead, the scheme proposes the replacement of one type of residential accommodation with an alternative form of supported living accommodation, albeit now accommodating up to 19 people. The proposed use would not conflict with Enfield Core Strategy Policy CP4 (Housing quality) and Enfield Development Management Document Policy DMD4 (Loss of Existing Residential Units).

- 9.10 It is noted that the proposal would result in an intensification of the site, with up to 19 persons living on site in either the self-contained units or within the shared accommodation.
- 9.11 The applicant states each of the clusters would be operated independently as follows:
- Cluster 1 - 2 x 1-person flats and 1 small office. These units will be supported by 1/2 carers depending on need.
 - Cluster 2 - 5 bedrooms each with ensuite bathrooms and a shared dining/kitchen area and 1 small office which will be used by the current 5 residents residing in Churchbury Lane receiving care already by an existing provider.
 - Cluster 3 - 6 x 1-person flats and a shared communal living/dining/kitchen area and 1 small office. These units will be supported by 2-3 staff, depending on need.
 - Cluster 4- 6 x 1-person flats and a shared communal dining/kitchen area and 1 small office. These units will be supported by 2-3 staff, depending on need.
- 9.12 The site is currently occupied by 5 residents, occupying 5 rooms and are assisted by 5 full time staff (3 during the day and 2 during the night). The proposal would result in 19 residents, assisted by 20 full time staff (10 during the day and 10 during the night).
- 9.13 Notwithstanding the intensification in the use of the site , the appeal decision did not find this harmful and therefore the proposals are acceptable in terms of land use. A condition is recommended requiring the accommodation to only be occupied for supported living, Class C3b and not for any other purposes within Class C3 and not to be occupied by more than 19 residents, given the mix of accommodation proposed, and the lack of private amenity space to support all units.

Standard of Accommodation

- 9.14 The Mayor's Housing SPG advises that the nationally described space standards and the optional Building Regulations do not apply to specialist forms of housing such as student housing and supported living; however, the space needed for furniture, activity and movement should be considered when designing all forms of housing. Policy D6 of the London plan states the standards apply to all new self-contained dwellings of any tenure. This application includes units of self-contained accommodation, albeit the majority also have access to shared living/dining and kitchen facilities in addition to those within the individual units.
- 9.15 Policy DMD 8 (General Standards for New Residential Development) of the Enfield Development Management Document provides wider considerations of what constitutes acceptable levels of habitable accommodation within development.
- 9.16 With the refused application, 20/02821/FUL it was considered that the proposed development, by virtue of inadequate floor areas, floor to ceiling heights, internal layouts, poor quality of outlook, insufficient natural light, the insufficient provision of private/communal amenity space and required measures to ensure privacy would have resulted in substandard accommodation and be harmful to the amenities of future occupiers, contrary to Planning Policy.

- 9.17 The Appeal Inspector supported the Council on this reason for refusal and concluded that that on balance, the proposal would not provide suitable living conditions for future occupiers having regard to the quality and quantity of internal and external space.
- 9.18 In addressing the above reasons for refusal, the applicants have amended the plans so that each self-contained unit is provided with a minimum of 37sqm in floor space which meets the London Plan floorspace standard for a single person unit. With the exception of the two ground floor self-contained units, the remainder of the units also have access to additional shared communal living/dining/cooking space. A condition is recommended to ensure that the units remain in use as supported living accommodation only and as one person units..
- 9.19 In terms of floor to ceiling heights, the earlier refused application's had ceiling heights of 2.4m to the ground and first floor level of the building, whilst the second floor had 2.8m. The current application proposes a floor to ceiling height of 2.5m to the ground and first floor and retains the 2.8m height at second floor level. This is in compliance with planning guidance. The units overall have adequate light and outlook. One of the ensuite bedrooms within Cluster 2 its sole bedroom window to the flank elevation that needs to be fixed and obscured to a certain degree to protect the privacy of the occupiers of No.28 Churchbury Lane. As this is a bedroom and the occupier would have access to a sizable communal living/dining/kitchen space, with good natural light, this in the overall planning balance is considered acceptable.
- 9.20 Within the refused application the garden space available to support the development had not been clearly defined in terms of how it would be used by future residents. This amended scheme identifies a private garden for one of the ground floor self-contained units and for the residents of Cluster 2. A further communal area beyond would be accessible to all residents. This application has now therefore clarified the apportionment of amenity space. Whilst all units do not have access to private amenity space, given this is supported living where residents live in a more communal way, encouraged through the provision of communal living/dining and kitchen facilities, the reliance on communal amenity space for the majority of units is considered acceptable.
- 9.21 Having regard to the amendments to the scheme, it is considered that the concerns previously raised regarding the quality of the accommodation have been satisfactorily addressed.

Design

- 9.22 Enfield Core Strategy Policy CP30 (Maintaining and improving the quality of the built and open environment) seeks to ensure that new developments are high quality and design-led, having regard to their context.

- 9.23 Enfield Development Management Document Policy DMD8 (General Standards for New Residential Development) states that new developments should preserve amenity in terms of daylight, sunlight, outlook, privacy, overlooking, noise and disturbance. DMD37 (Achieving High Quality Design-Led Development) states that development that is not suitable for its intended function that is inappropriate to its context, or which fails to have appropriate regard to its surroundings, will be refused. However, it also recognised there is a degree of subjectivity in this assessment of acceptable design.
- 9.24 The principle of demolition has already been accepted under the refused application and this was not disputed in the appeal decision. It was concluded that the existing buildings are of limited value and therefore limited weight shall be given to their conservation. In the absence of making a significant positive contribution to the wider area, the complete demolition of all site buildings is acceptable subject to a suitable replacement.
- 9.25 The proposal would result in a change to the form/shape of the building and the extent of site coverage. The proposed building is neither massed to address the recognised and typical principal elevation (east), nor the south facing elevation and surrounding views. The proposal will result therefore in an atypical building, formed in an 'L' shape with an apex serving as an entrance on the corner of Churchbury Lane, with principal elevations facing east (14.9m) and south (18.5m). Where the more typical built format in the locality is that of semi-detached rectangular buildings with a single principal elevation, this proposal would introduce 2 principal elevations which under the previous scheme was previously considered to be at odds with the locality.
- 9.26 The Inspector did not support the Council's earlier objections to the design of the building. He considered the area to be of mixed character and that there was no single, defining dominant character and appearance at the site or around it. He did not therefore consider the form of development proposed to be harmful to the character and appearance of the area. This current scheme has the same form and massing and therefore in the light of the appeal decision, which carries significant weight in the assessment of this application, no objection is now raised to the design of the building.

Impact on neighbouring amenity

- 9.27 Enfield Core Strategy Policy CP9 (Supporting community cohesion) supports community cohesion by promoting attractive, safe, accessible and inclusive neighbourhoods. Enfield Development Management Document Policies DMD 8 and 10 seek to ensure that developments do not negatively impact on the residential amenities of neighbouring properties. Policy DMD 8 states residential development will only be permitted if it preserves amenity in terms of daylight, sunlight, outlook, privacy, overlooking, noise and disturbance. Policy DMD 10 states that distancing between developments serves a number of purposes: it helps to maintain a sense of privacy; it is also key to avoiding overshadowing and ensuring adequate amounts of sunlight are available for new and existing developments. The spacing between development at the rear offers the space for amenity uses. It is therefore important that an appropriate distance is achieved and maintained as a result of the development of new residential units and extensions. Development should be designed to protect the privacy of both new and existing dwellings to a reasonable degree. Spaces that are overlooked lack privacy. The most sensitive areas to overlooking are habitable spaces such as living rooms, bedrooms, kitchens and the part of a garden nearest to the house.
- 9.28 The massing and form of the proposed building would be greater than the existing built form and therefore the impacts to the neighbouring residential amenity requires assessment.
- 9.29 The area surrounding the site is predominantly residential. The following properties are contiguous to the application site:
- No.28 Churchbury Lane – neighbouring to the north of the application site. This building has several flank wall windows facing the development site, serving habitable spaces at ground and second floor level.
 - Nos.1 and 3 Fir Tree Walk - neighbouring to the west of the application site. These buildings have a number of upper floor windows facing the development site serving habitable spaces.
- 9.30 All other adjacent properties on the opposite side of Churchbury Lane (including Nos.1 and 3 Churchbury Lane, Nos. 1 and 2 Fyfield Road and 5 Fir Tree Walk), by virtue of their proximity and orientation are considered to experience no greater harm as a result of the development than the existing arrangement.
- 9.31 The proposal would result in the greatest depth located towards the junction with Fyfield Road. The proposal would result in an 'L' shaped building to both frontages along Churchbury Lane. The east facing elevation would be 14.9m in width and 15m in depth, approximately 2m deeper at ground floor level than the neighbouring No.28 Churchbury Lane, whilst the south facing elevation would be 18.5m in width and 11.3m in depth. The flank wall of the proposed building would be 3.7m away from No.28 Churchbury Lane and 11.4m away from the rear boundary wall with Nos.1 and 3 Fir Tree Walk. The rear elevation of the south facing section would be 12.7m away from the side boundary wall of No.28 Churchbury Lane.

- 9.32 Within the refused application it was considered that due to new upper floor windows facing the windows and gardens of number 28 Churchbury Lane and Nos.1 and 3 Fir Tree Walk, this would give rise to an unneighbourly loss of privacy from overlooking which would be harmful to the amenities of these neighbouring properties.
- 9.33 The Appeal Inspector disagreed with the harm to numbers Nos.1 and 3 Fir Tree Walk but concluded that whilst he was satisfied that the proposal would not cause harmful overlooking or loss of privacy to the gardens of No 28 Churchbury Lane and Nos.1 and 3 Fir Tree Walk, as the relationship would be fundamentally the same as existing, he found that the side facing windows would give rise to an unacceptable loss of privacy and perceived loss of privacy to the occupiers of No 28.
- 9.34 In addressing the above reason for refusal, the applicant has made changes to the scheme by removing some windows from some rooms including a bedroom and also by designing the rooms such that all the side windows facing number 28 are obscure glazed and non opening, with that to the bedroom being obscured glazed and fixed to a height and thereafter clear glazed. The quality of accommodation is not compromised by inserting obscure glazed windows as most of these rooms are non-habitable rooms. One of the ensuite bedrooms within Cluster 2 would have its sole window as a partially obscure glazed window. However, as this is a bedroom and the occupier would have access to a large communal living/dining/kitchen space. In the overall planning balance, this is considered acceptable. The reason for refusal on harm to the amenities of number 28 is therefore considered to have been overcome.

Transport

- 9.35 Policies DMD45 and DMD47 provide the criteria upon which developments will be assessed with regard to parking standards / layout and access / servicing. Enfield Development Management Document Policy DMD 45 (Parking Standards and Layout) and DMD48 (Transport Assessments) seeks to minimise car parking and to promote sustainable transport options. The Council recognises that a flexible and balanced approach needs to be adopted to prevent excessive car parking provision while at the same time recognising that low on-site provision sometimes increases pressure on existing streets.
- 9.36 The site is located on the corner junction of Churchbury Lane and Fyfield Road. The site is located within the Enfield Town Controlled Parking Zone (CPZ), and the site has a PTAL of 4, which is good.

- 9.37 There are currently two vehicle access points into the site; one on the north (closest to the junction with Orchard Way) which is shared with No.28 Churchbury Lane and one to the south of the site, facing the junction with Fyfield Road. The Council recognises that a flexible and balanced approach needs to be adopted to prevent excessive car parking provision while at the same time recognising that low on-site provision sometimes increases pressure on existing streets. As part of this proposal, both crossovers would remain, with formal parking areas provided serving the front and rear of the site with 2 spaces and 3 spaces respectively. The provision of 7 car parking spaces to service the previous scheme as was considered excessive within the refused application. However, the Inspector did not agree with the Council on this issue and was satisfied that the over-provision of parking would not in itself be harmful to the free flow and safety of vehicular traffic. It is considered a reduction in parking as now proposed from 7 to 5 spaces, does not undermine the Inspectors decision and is more in line with the Council's original position.
- 9.38 The Inspector was concerned that a combination of the particular layout and access to the car parking spaces, meaning vehicles would need to reverse onto the public highway and the uncertainty over deliveries and servicing which would give rise to harm to the free flow of vehicular traffic and the safety of all other road users. In reducing the number of parking spaces in the rear garden, the two spaces that required a reversing movement have been removed. This area of concern has therefore been addressed. The Council's Transport Team raise no objections to the proposed parking layout. Clarity is being sought on the proposed servicing and delivery arrangements, including numbers and frequency of any deliveries. However, the existing facility is serviced from the highway and the Transportation Team have confirmed that whilst there could be further deliveries as a consequence of the intensification of the use of the site, this is not considered to be at levels that would prejudice highway safety and traffic flow. An update will be provided at the meeting.
- 9.39 A condition is recommended to require a Construction Management Plan as directed by the Planning Inspector who stated that subject to the imposition of an appropriate condition, the implementation of the proposal would not be likely to give rise to conflicts with other road users and not be detrimental to the amenity of the area.
- 9.40 With regard to cycle parking, the proposal indicates an area for 10 cycle spaces., Policy DMD 45 (Parking Standards and Layout) would expect a pre-commencement condition to secure the siting, number and design of the secure and covered cycle parking spaces. A condition is recommended to cover this.

Trees

- 9.41 Enfield Development Management Document Policy DMD80 (Trees on Development Sites) states that all development including subsidiary or enabling works that involve the loss of or harm to trees covered by TPO's or trees of significant amenity or biodiversity value will be refused. Policy DMD81 states that development must provide high quality landscaping that enhances the local environment.

9.42 The site contains a number of trees, including an Ash Tree in the rear garden that is the subject of a Tree Preservation Order. The application is now supported by a Tree Survey and Impact Assessment. This confirms that 7 trees are to be removed to support the development and all those to be removed are category 'U'. The protected tree will be retained within an area of communal garden to the rear. Subject to clarification on the position of the proposed cycle store in relation to the root protection zone for the protected tree, no objection is raised to the development in terms of impact on trees. A condition is recommended to require details of tree protection measures during construction and for the foundation and construction method of the proposed cycle store. This reason for refusal is now considered to be satisfactorily addressed.

Biodiversity

9.43 Policy G6 of the London Plan (Biodiversity and access to nature), Enfield Core Strategy Policy 36 (Biodiversity) and Development Management Document Policy DMD79 (Ecological Enhancements) would expect a condition to secure appropriate features to conserve and enhance wildlife habitats and biodiversity measures including bird and bat boxes.

Energy and Sustainability

9.44 Enfield Core Strategy Policy CP4 sets a strategic objective to achieve the highest standard of sustainable design and construction throughout the Borough, whilst policies 49 (Sustainable Design and Construction Statements) and 50 (Environmental Assessment Methods) of the Development Management Document relate to the highest sustainable design and construction standards having regard to technical feasibility and economic viability and compliance with targets relating to the relevant adopted environmental assessment methods respectively.

9.45 An Energy Statement has not been provided at this stage and therefore a condition is recommended requiring the submission of one pre-commencement.

Sustainable Drainage Systems (SuDS)

9.46 London Plan policy SI 12 (sustainable drainage) outlines that development proposals should aim to achieve greenfield run-off rates and ensure that surface water run-off is managed as close to its source as possible. There should also be a preference for green over grey features, in line with the following drainage hierarchy:

1. rainwater use as a resource (for example rainwater harvesting, blue roofs for irrigation)
2. rainwater infiltration to ground at or close to source
3. rainwater attenuation in green infrastructure features for gradual release (for example green roofs, rain gardens)
4. rainwater discharge direct to a watercourse (unless not appropriate)
5. controlled rainwater discharge to a surface water sewer or drain
6. controlled rainwater discharge to a combined sewer.

- 9.47 Enfield Core Policy 28 (Managing flood risk through development) confirms the Council's approach to flood risk, inclusive of the requirement for SuDS in all developments Policy DMD 61 (Managing Surface Water) expects a Drainage Strategy will be required for all developments to demonstrate how proposed measures manage surface water as close to its source as possible and follow the drainage hierarchy in the London Plan.
- 9.48 The previous application was refused as it was considered that the proposals had failed to demonstrate how proposed measures manage the risk of flooding from surface water run-off and follow the drainage hierarchy. The Appeal Inspector concluded that given it is fundamental to the acceptability of the proposal, it would be inappropriate to defer such an important detail to condition. The applicants have now submitted a SUDS strategy which has been assessed by the Council's drainage team who have concluded that these details are sufficient and can be supported in principle with a condition requiring further technical details. This reason for refusal of a previous application has been addressed.

Community Infrastructure Levy (CIL)

- 9.49 This development would be liable for both Mayoral and Enfield CIL. The Mayoral CIL liability is expected to be £33,060.00 and the Enfield CIL liability is also expected to be £33,060.00. Final calculations would be undertaken at the point a CIL liability notice is issued.

Public Sector Equality Duty

- 9.50 In line with the Public Sector Equality Duty the Council must have due regard to the need to eliminate discrimination and advance equality of opportunity, as set out in section 149 of the Equality Act 2010. Section 149 of the Act requires public authorities to have due regard to several equality considerations when exercising their functions including decision making on planning applications. It is considered that the proposal to grant planning permission for this development would not disadvantage people who share any of the different nine protected characteristics compared to those who do not have those characteristics and therefore it is considered that the development would not have a disproportionate equalities effect. Accordingly, the recommendation is considered appropriate in upholding the council's adopted and emerging policies and is not outweighed by any engaged rights.

10. Conclusion

- 10.1 The starting point for the determination of any planning application is the development plan. Paragraph 11(d) of the NPPF, and the application of the tilted balance means that planning permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole, which also includes the Development Plan. Moreover, planning permission should be approved unless “the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed”.

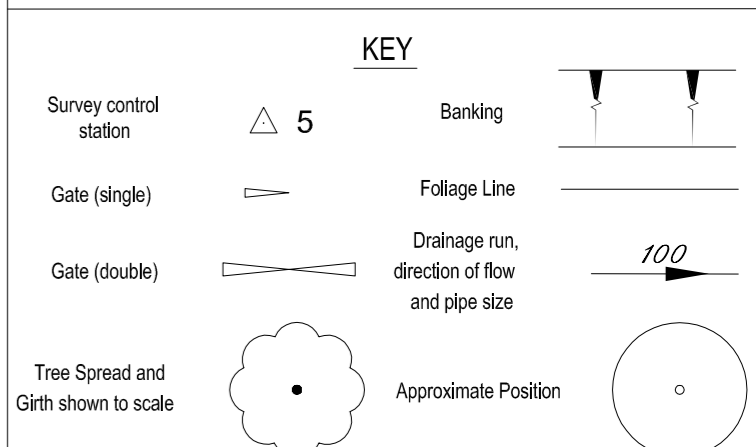
- 10.2 It is acknowledged that the consideration of this report has involved some balanced judgements, in relation to residential quality, the impacts of the development on neighbouring occupiers and transport impacts. The appeal decision has been a material consideration in this balance. The Inspector raised no issues with the description of development, the land use proposed, the design, height or massing of the building and its impact on the character or appearance of the area. The issues raised with regard to residential quality, overlooking of the neighbouring property at No.28 Churchbury Lane and highways impact, trees and sustainable drainage are now considered to have been satisfactorily addressed. There is a strong need for this type of supported accommodation which would be consistent with adopted policy and therefore carries significant weight. For these reasons it is recommended that planning permission be granted with conditions as set out above.

Station	Easting	Northing	Level
1	533080.365	196792.200	32.343
2	533046.803	196759.611	32.455
3	533027.881	196768.227	32.337
4	533038.891	196779.232	32.426
5	533046.046	196792.209	32.267
20	533069.222	196763.441	32.702
30	533035.674	196784.209	32.279
40	533047.461	196773.689	32.438

All levels related to Ordnance Survey active GPS network, at survey station 1.

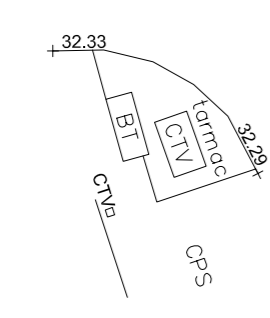
DISCLAIMERS
 Every effort has been made to confirm tree species on site, yet it is advised to confirm these details with an arborist before proceeding with any design.

Every effort has been made to confirm drainage run, type and size on site, yet it is advised to check these details against statutory authority records before proceeding with any design.

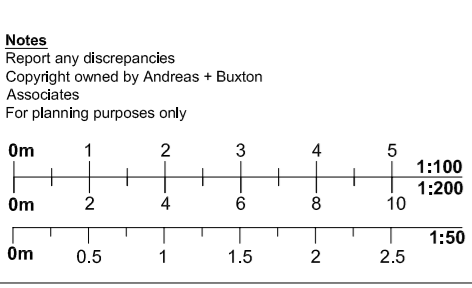


ABBREVIATIONS

Air Handling Unit	AHU	Water Meter	WM
Belisha Beacon	BB	Eaves Level	EL
Bollard	BD	Ridge Level	RL
Borehole	BH	Roof Level	RFL
BT Inspection Cover	BT	Soil Level	SFL
Cable Television Cover	CTV	Threshold Level	THL
Drainage Channel	DC	Parapet Wall Level	PWL
Electricity Cover	EC	Finished Floor Level	FLL
Electricity Pole	EP	Head Level	HL
Earth Rod	ER	Sill Level	SL
Fire Hydrant	FH	Cover Level	CL
Gas Valve	GV	Invert Level	IL
Gate Post	GP	No Visible Pipes	NVP
Gully	GY	Unable to Lift	UTL
Inspection Cover	IC	Foul Water	FW
Junction Box	JB	Sump Level	SUL
Kerb Outlet	KO	Surface Water	SW
Lamp Post	LP	Brick Pavings	BP
Manhole	MH	Concrete	CON
Marker Post	MK	Concrete Paving Slabs	CPS
Post	P	Flower Bed	FB
Pipe	PE	Shrub Bed	SB
Road Sign	RS	Tactile Paving	TAC
Roading Eye	RE	Unsurfaced	US
Marker Post	MK	Brick Wall	BW
Sign Post	SP	Retaining Wall	RW
Stop Tap	SV	Chainlink Fence	CLF
Stop Tap	ST	Chestnut Pelling Fence	CPF
Telegraph Pole	TP	Iron Railing Fence	IRF
Traffic Light	TL	Metal Security Fence	MSF
Verti Pipe	VP	Post and Chain Fence	PCF
Post and Rail Fence	PRF	Post and Wire Fence	PWF
Wooden Panel Fence	WPF		



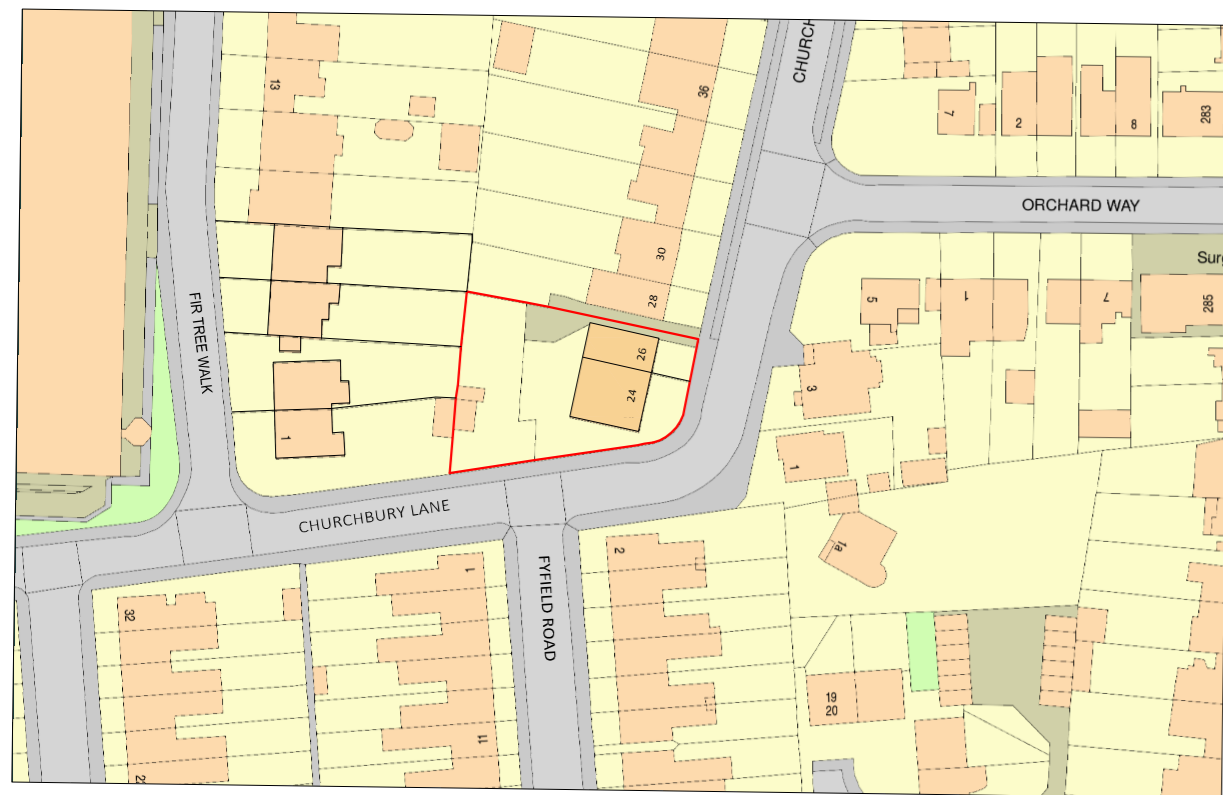
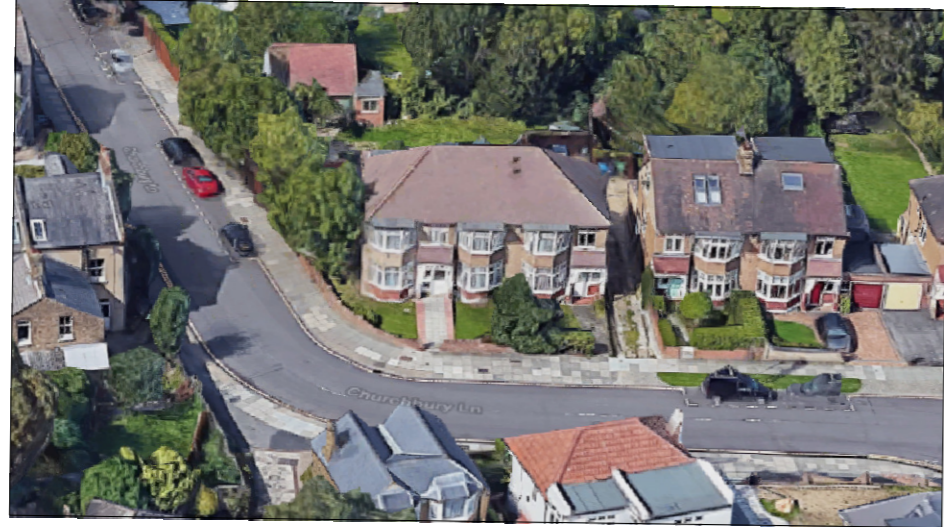
Existing Site Plan



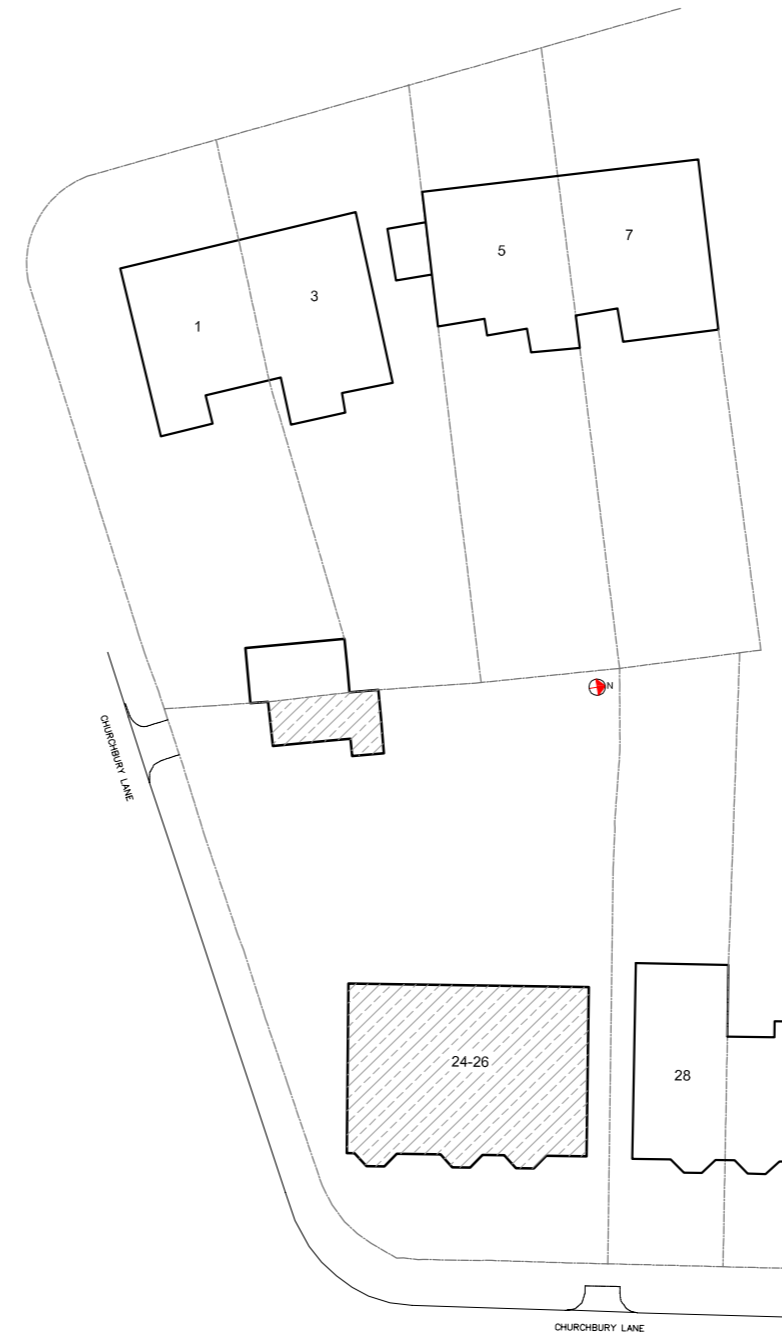
Andreas + Buxton Associates
 CHARTERED ARCHITECTS • INTERIOR DESIGNERS
 9 Ludlow Street London E1 4NF
 t: 078687 15430 e: andreas@abme.com

Project	24-26 Churchbury Lane	Client	Edwin Fox
Project Description	Proposed Works	Drawing Name	Existing Site Plan
Date	28.09.19	Scale	1:100 @ A1
Fig. No.	Chu19/P102	Rev.	

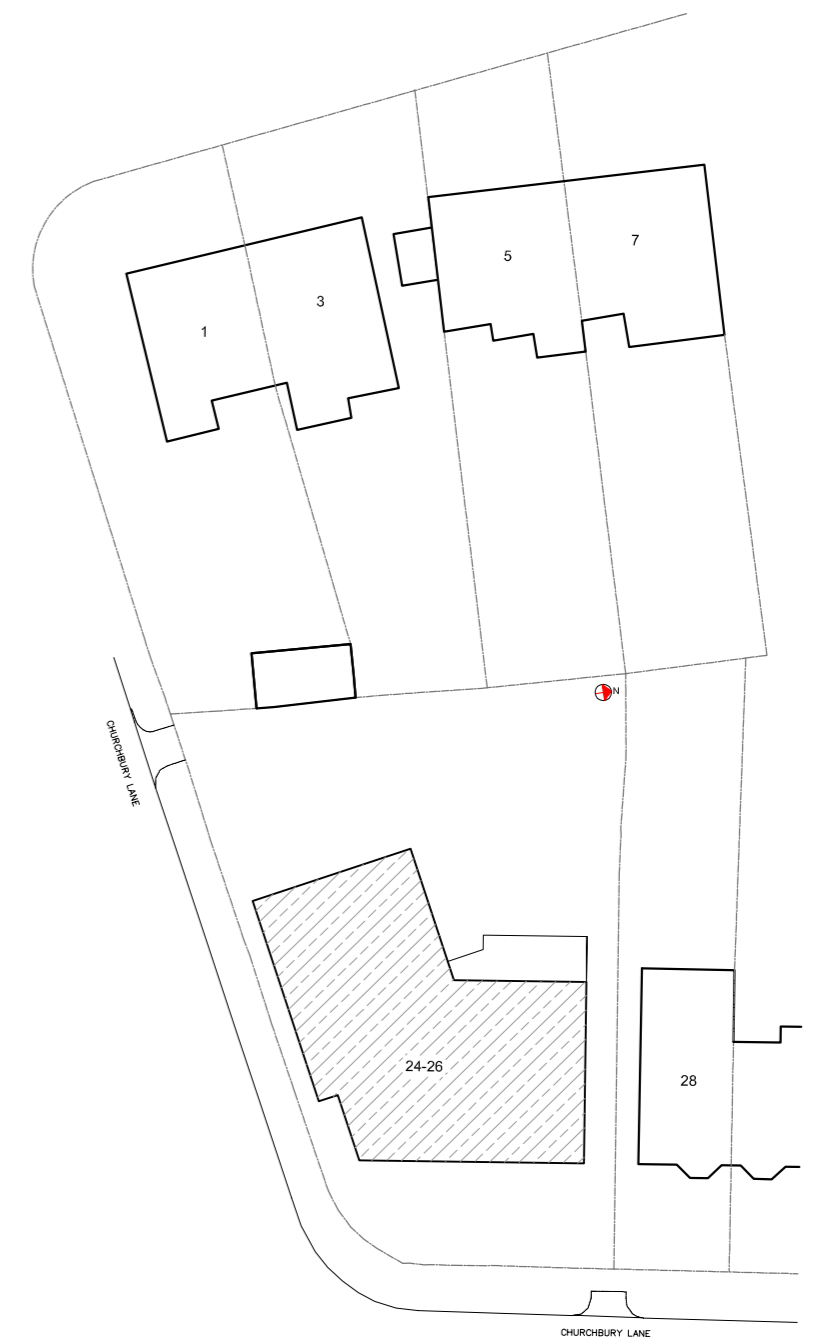
Existing Photographs of Site



Existing Site Location Plan
Scale 1:1250

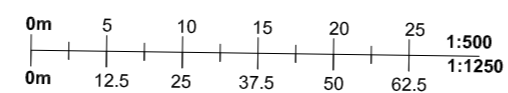


Existing Site Plan
(Scale 1:500)



Proposed Site Plan
(Scale 1:500)

Notes
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CHARTERED ARCHITECT + INTERIOR DESIGNERS
9 Louisa Street London E1 4NF
t: 078687 15430 e-mail: andreas73@me.com

Rev: _____ Date: _____ Drawing Status: _____
Planning Application

Project
24 - 26 Churchbury Lane Enfield
EN1

Project Description
Proposed Works

Drawing Name
Existing Site Location Plan, Photos
+ Site Plans

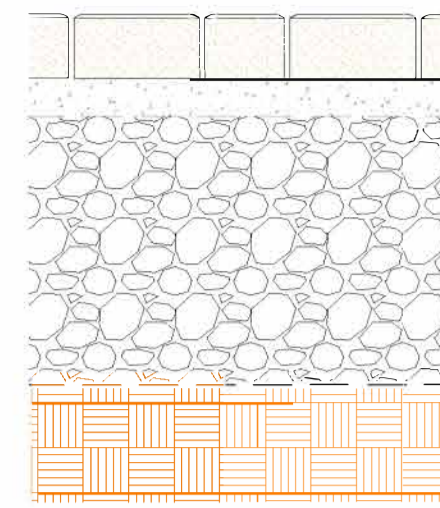
Date
19.07.19

Scale:
1:1250 + 1:500
@ A2

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Chu/19/P/01

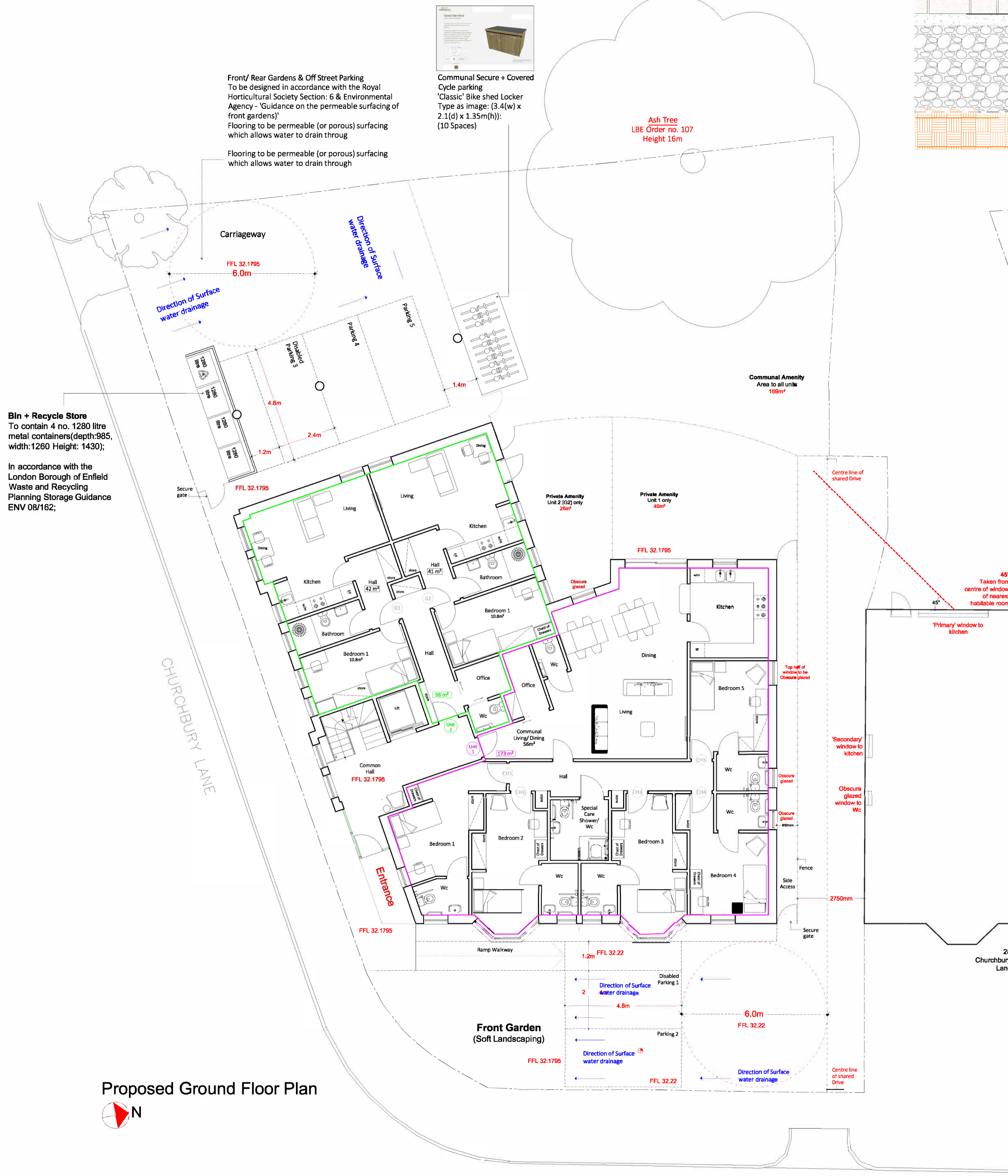
Rev.

Section through off street parking area (scale 1:10)
 (To be designed in accordance with the Royal Horticultural Society Section: 6 & Environmental Agency - 'Guidance on the permeable surfacing of front gardens')
 Flooring to be permeable (or porous) surfacing which allows water to drain through



Clay Block permeable paving (50-80mm thick)
 Laying Course (50mm thick gravel)
 350mm thick open graded aggregate sub-base
 Permeable fabric (geotextile)
 Soil

Site area = 941 m²				Unit	m²
	Ground	First	Second	Total	
Existing	169	131		300 m²	Unit 1 173
Proposed	296	317	293	906 m² (+ 606 m²/ 302%)	Unit 2 98
					Unit 3 301
					Unit 4 279
					Total 851 m ²



Proposed Ground Floor Plan



Proposed First Floor Plan



Notes
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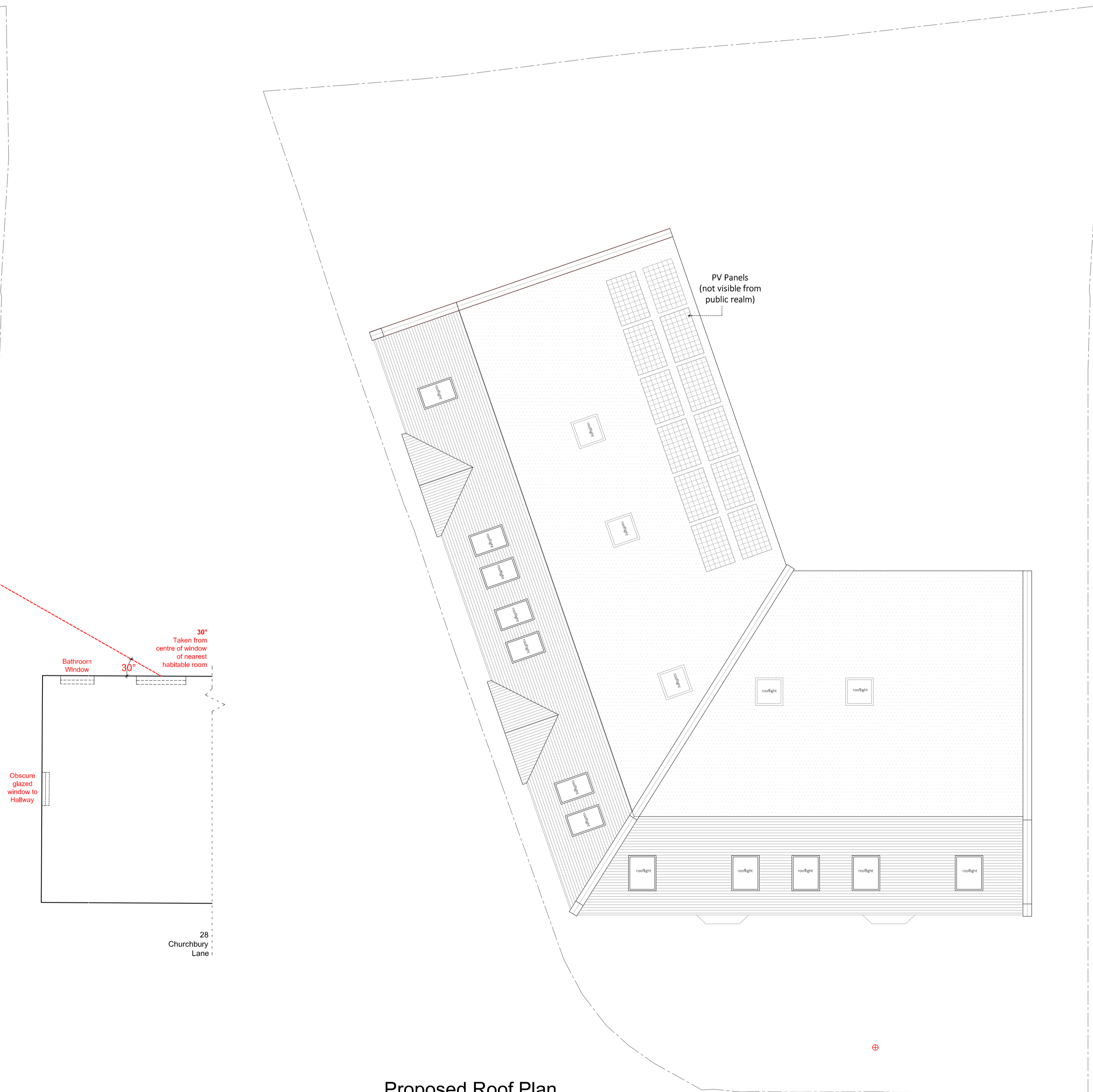
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0m	0.5	1	1.5	2	2.5	1:50
0m	5	10	15	20	25	1:500
0m	12.5	25	37.5	50	62.5	1:1250

Front/ Rear Gardens & Off Street Parking
 To be designed in accordance with the Royal Horticultural Society Section: 6 & Environmental Agency - 'Guidance on the permeable surfacing of front gardens'
 Flooring to be permeable (or porous) surfacing which allows water to drain through

CHURCHBURY LANE



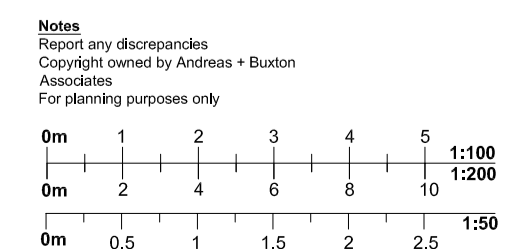
Proposed Second Floor Plan



Proposed Roof Plan



Site area = 941 m ²				Unit	m ²
	Ground	First	Second	Total	
Existing	169	131		300 m ²	Unit 1 173
Proposed	296	317	293	906 m ² (+ 606 m ² / 302%)	Unit 2 98
					Unit 3 301
					Unit 4 279
					Total 851 m²



Notes
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LONDON BOROUGH OF ENFIELD**PLANNING COMMITTEE****Date:** 20 June 2023**Report of**Director of Planning & Growth
- Brett Leahy**Contact Officers:**Allison Russell
Claire Williams**Category**

Major

Ward

New Southgate

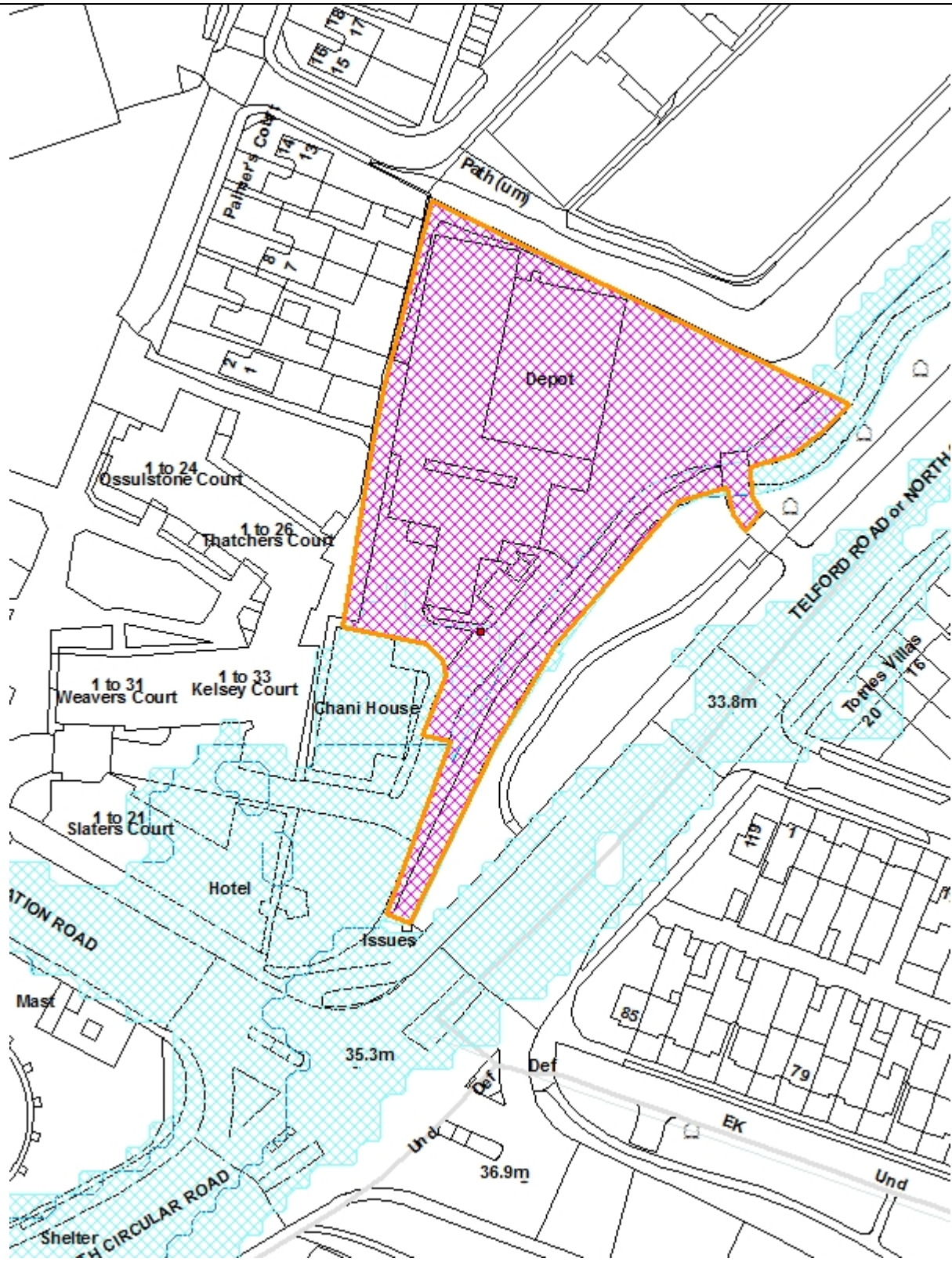
Councillor Request

No

LOCATION: Units 1A To 1B Alexander Place, New Southgate Industrial Estate, Lower Park Road, London, N11 1QD**APPLICATION NUMBER:** 22/02680/FUL**PROPOSAL:** Demolition of existing buildings and construction of self-storage building (Use Class B8) and building for flexible light industrial (Use Class E(g)(iii)), general industrial (Use Class B2), or storage and distribution (Use Class B8) uses; with associated hardstanding, parking and landscaping amendments, vehicular access from Lower Park Road and provision of new pedestrian access from North Circular Road.**Applicant Name & Address:**Loft Land Holdings Ltd
c/o agent
Pegasus Group
21 Ganton Street
London
W1F 9BN**Agent Name & Address:**Craig Slack
Pegasus Group
21 Ganton Street
London
W1F 9BN**RECOMMENDATION:**

1. That subject to the completion of a Section 106 Agreement to secure the obligations as set out in the report, the Head of Development Management be authorised to GRANT planning permission subject to conditions.
2. That the Head of Development Management be granted delegated authority to agree the final wording of the conditions to cover the matters in the Recommendation section of this report.

Ref: 22/02680/FUL LOCATION: Units 1A To 1B Alexander Place, New Southgate Industrial Estate, Lower Park Road, London



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Scale 1:1250

North



1.0 Note for Members

This planning application is categorised as a “major” planning application that falls within a locally significant industrial site in accordance with the scheme of delegation and is therefore being reported to Planning Committee for determination.

2.0 Recommendation

2.1 That subject to the completion of a Section 106 Agreement to secure the obligations as set out in the report, the Head of Development Management be authorised to GRANT planning permission subject to conditions:

1. Time limit
2. Approved plans
3. Details of external materials
4. Details of surfacing materials
5. Details of means of enclosure
6. Details of levels
7. Green procurement plan
8. Non mobile road machinery
9. No impact piling
10. Building not to be occupied until identified contamination is dealt with.
11. Any previously unidentified land contamination that is discovered must be reported to the Local Planning Authority.
12. Acoustic report
13. Secure By Design
14. External lighting
15. Landscaping details
16. Ecological enhancements
17. Installation of green roof
18. Compensatory tree planting
19. Tree protection
20. Installation of energy efficiency measures
21. Submission of updated As-Built Energy Statement

22. Submit updated As-Built Energy Statement evidencing solar PV panel annual output and Air Source Heat Pump efficiency
 23. Submit As-Built Energy Statement evidencing that the lighting efficiency and control measures are maintained
 24. Submit As-Built BREEAM assessment
 25. Buildings to be completed in accordance with measures proposed in the Energy Statement.
 26. BREEAM Excellent – design and post occupancy
 27. Details of cycle parking
 28. Construction management plan
 29. Details of how drainage from the hardstanding will be prevented from discharging towards the public highway
 30. Electric vehicular charging point details including siting shall be provided in accordance with London Plan standards (minimum 20% of spaces to be provided with electric charging points and a further 20% passive provision for electric vehicles in the future)
 31. Development shall not be occupied until the existing vehicular access has been reinstated
 32. Protection of TFL underground infrastructure
 33. No gas boilers to be installed
 34. No external plant to be installed without written approval
 35. Site waste management plan
 36. Restricted uses class – Use Classes B2, B8 and E(g)(iii) only.
- 2.2 That the Head of Development Management be granted delegated authority to agree the final wording of the conditions to cover the matters above.

3.0 Executive Summary

- 3.1 The application is for the demolition of existing buildings and construction of self-storage building (Use Class B8) and building for flexible light industrial (Use Class E(g)(iii)), general industrial (Use Class B2), or storage and distribution (Use Class B8) uses; with associated hardstanding, parking and landscaping amendments, vehicular access from Lower Park Road and provision of new pedestrian access from North Circular Road.
- 3.2 The scheme is considered acceptable for the following reasons:

- 1) The proposed development would be consistent with the previous industrial use of the site and well-established business and employment activities of the locally significant industrial area.
- 2) The proposed development would be consistent with the objectives of national, regional and local policy in terms of supporting and securing sustainable growth and employment opportunities within the borough.
- 3) There will be an uplift in industrial floorspace of 8,762sqm.
- 4) There is no identified adverse impact on neighbouring residential amenity or the character and appearance of the area.
- 6) There is no identified adverse impact on trees and biodiversity.
- 7) In comparison to the former units that occupy the site, the new buildings would be significantly more sustainable and energy efficient.
- 8) There are no identified adverse effects on highway safety or traffic generation, a new footpath into the application site from the North Circular Road would be created and a financial contribution of £26,614 would be secured through a section 106 legal agreement for sustainable transport improvements.
- 9) The scheme integrates flooding and SuDs mitigation measures to manage any offsite impacts.

4.0 Site and Surroundings

- 4.1 The application site is located within a Locally Significant Industrial Site (LSIS) in New Southgate and covers an area of approximately 0.621 hectares (1.533acres).
- 4.2 The northern half of the site is occupied by a metal clad warehouse that is one-storey high with a floor area of 1,336 sqm and south of this is the adjoining brick-built office building that is two and half storeys high with a floor area of 1,375 sqm. In terms of height, the buildings are approximately 11 metres high. The office building is currently vacant. The buildings appear to date from the 1980s or 1990s and are showing their age with signs of dilapidation. The north-eastern area of the site is currently occupied by unloading bays alongside a large area of hardstanding which joins onto the access road.
- 4.3 The application site is accessed by Lower Park Road at its southern point. Lower Park Road joins Station Road, close to the junction of Station Road and the A406 (the North Circular Road). Lower Park Road runs through an undercroft before leading to the application site. A closed access from the North Circular Road is also present to the east.
- 4.4 Immediately adjacent to the site to the south is Chandu Tailor & Son Funeral Directors. This building is likely to have been constructed around the same time as those on the application site. The funeral director building comprises of a smaller two-storey office element fronting a larger warehouse.

- 4.5 To the west are residential blocks including Thatchers Court and the Premier Inn Hotel. To the north-west of the site is Ladderswood residential redevelopments with further residential led developments under construction. To the east lies Bounds Green Brook and the North Circular Road. Across Station Road, to the south, is the site of the former gas holder which is next to a Homebase, Topps Tiles and Builder's Depot stores. Further to the north-west of the site is the New Southgate main line station, and further west of the station is further green open space along Royal Drive. Arnos Grove Underground station several minutes' walk to the north of the site.
- 4.6 In respect of topography, the site is relatively flat and broadly level in the areas covered by the building and hardstanding. Levels fall away next to the brook and step up to the north and west where there are existing retaining walls, some of which are integrated into the existing building.
- 4.7 The site has a PTAL rating of 2 but borders a 4 and 6 as the site is close to Arnos Grove and New Southgate.
- 4.8 The site is within Flood Zones 2, 3 and 3b. As such the site is at medium to high risk of flooding and acts as a functional floodplain.
- 4.9 The site is not located within in a Conservation Area and does not contain a Listed Building.
- 4.10 A Site of Borough Importance for Nature Conservation bounds the site to the east and north. There are existing trees on and adjacent to the site however they are not covered by a Tree Preservation Order. The site is also located within the New Southgate Masterplan Area.

5.0 Proposal

- 5.1 The applicant seeks permission for the demolition of the existing buildings and construction of self-storage building (Use Class B8) and building for flexible light industrial (Use Class E(g)(iii)), general industrial (Use Class B2), or storage and distribution (Use Class B8) uses; with associated hardstanding, parking and landscaping amendments, vehicular access from Lower Park Road and provision of new pedestrian access from North Circular Road. Vehicular access from Lower Park Road will remain the same and proposed is the provision of a new pedestrian access from North Circular Road, as shown below.



Figure 1: Proposed Site Plan showing the new pedestrian access

- 5.2 The proposed floor space for the self-storage unit to the north is 8,156sqm (B8 storage and distribution floorspace). The proposed five storey self-storage building would have a height of 13 metres and rise to a maximum of 16 metres. The proposed single storey flexible industrial unit would have a height of approximately 7 metres and comprise a floor area of 456 sqm.
- 5.3 The proposed building elevations are largely to comprise of metal composite cladding with two varying sheet profiles in two contrasting colours which are arranged to help break-down the building mass. During the course of the assessment, it was considered that the blank façade on the west facing elevation required more visual interest and the detailing was therefore amended to introduce a variety of shades of grey including a lower darker brick base with glazed sections around the reception and a lighter metal clad upper section with glazed inserts.

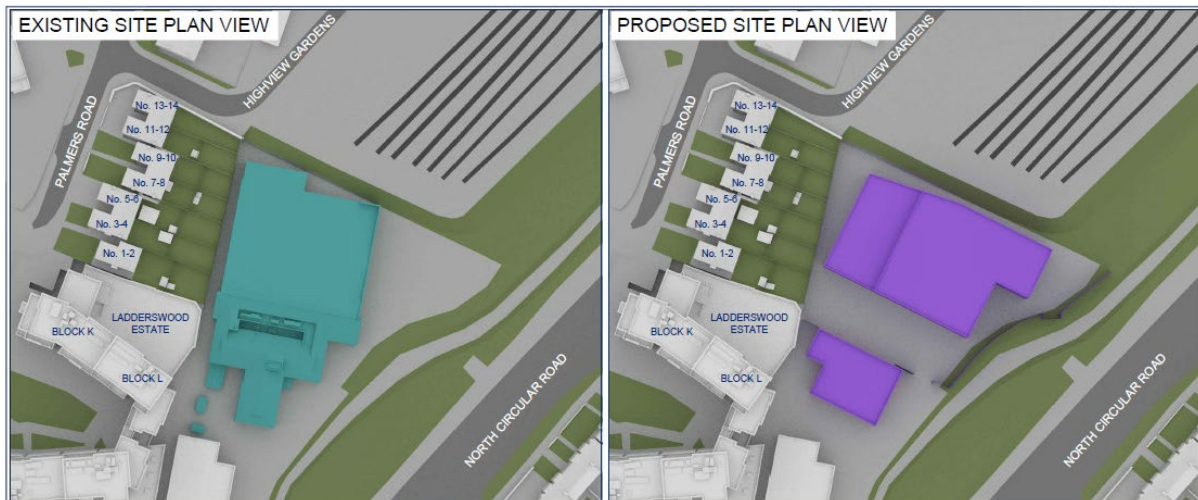


Figure 2: Existing and Proposed Block Plan

5.4 Car and cycle parking provision is proposed along the frontage of the new buildings as follows:

- Storage unit: 11 car spaces (1 disabled bay) + 5 loading bays
- Flexible industrial unit: 3 car spaces (1 disabled bay) + 1 loading bay

- Storage unit: 18 long stay and 8 short stay cycle space
- Flexible industrial unit: 2 long stay and 2 short stay cycle spaces

5.5 Landscaping in the form of trees, hedgerows, grass and shrubs are proposed across the site. A green roof is proposed to the self-storage unit.

6.0 Relevant Planning History

6.1 21/04250/PREAPP for the proposed redevelopment of the site dated 15.12.2021.

6.2 Other relevant planning history in the surrounding area.

6.3 Gas Holder, Pinkham Way, London, N11 1QJ – 20/04193/FUL: Redevelopment of the site to provide a mixed-use development including the erection of two blocks ranging between 14 and 19 storeys in height, comprising of 182 residential units (Use Class C3), 371 sqm of commercial floorspace (Use Class E), common amenity space, together with accessible car parking spaces, bike parking spaces for residents and for the commercial use, hard and soft landscaping and associated works. Under consideration.

7.0 Consultation

7.1 Internal and third-party consultees

<u>Consultee</u>	<u>Objection</u>	<u>Comment</u>
Environmental Health	No	No objection subject to conditions.
SuDS	No	A revised SuDS report was submitted which accords with DMD Policy 61.
Sustainability	No	Conditions suggested relating to achieving operational net zero with low space heating demand and robust PV installation New Development Carbon Compensation fund to be secured through a S106 agreement.
Traffic and Transportation	No	No objections, subject to conditions and S106 agreement.
Energetik	No	Questioned why no explanation was given to no connection to decentralised energy network. Officer Response: This is addressed further in the analysis section of the report.
London Fire Brigade	No	No objection.
Transport for London	No	No objection subject to conditions.
Employment and Skills	No	No objection subject to obligations secured through a S106 agreement.

Public

- 7.2 A press notice was advertised in the Enfield Independent and multiple site notices were erected around the site.

Number notified	464
Consultation start date	12.08.2022
Consultation end date	05.09.2022
Representations made	Two
Objections	Two
Other / support comments	None

- 7.3 Two objections have been received and the issues raised are summarised below:

- Traffic
- Loss of light
- Loss of privacy
- support the demolition of the existing buildings in favour of short commercial shops to support the community living in the area e.g gym, shops restaurants
- Large vehicles
- Pollution

- 7.4 These issues are all addressed in more detail within relevant sections of the main report.

Design Review Panel

- 7.5 The application follows on from a pre-application, which included a presentation to the Design Review Panel. The Design Review Panel supported the proposal and that support included the proposed height and massing of the scheme. It was suggested that the massing could even be increased. The developer has accepted comments made in relation to focussing on improved landscaping and connectivity from the site to the North Circular. Climate change and sustainability were priorities, and it is considered that the developer has initially submitted a detailed preapplication for discussion and made improvements based on the Design Review Panel forum, which is welcomed.

8.0 Relevant Policies

- 8.1 Section 70(2) of the Town and Country Planning Act 1990 requires the Committee have regard to the provisions of the development plan so far as material to the application: and any other material considerations. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires planning decisions to be made in accordance with the development plan unless material considerations indicate otherwise.
- 8.2 For the purposes of Section 38(6) of the Planning and Compulsory Purchase Act 2004, the development plan in force for the area comprises the Enfield Core Strategy (2010); the Enfield Development Management Document (2014); and The London Plan (2021).

National Planning Policy Framework (2021) (NPPF)

- 8.3 The NPPF sets out at Para 11 a presumption in favour of sustainable development. For decision taking this means:

“(c) approving development proposals that accord with an up-to date development plan without delay; or

(d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date (8), granting permission unless:

(i) the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or

(ii) any adverse impacts of so doing would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole.

The London Plan (2021)

- 8.4 The London Plan is the overall strategic plan for London setting out an integrated economic, environmental, transport and social framework for the development of London for the next 20-25 years. The following policies of the London Plan are considered particularly relevant:

GG2 Making the best use of land

GG5 Growing a good economy

D1 London’s form, character and capacity for growth

D3 Optimising site capacity through the design-led approach

D4 Delivering good design

D5 Inclusive design

D8 Public realm

D11 Safety, security and resilience to emergency

D12 Fire safety

D14 Noise

E1 Offices

E2 Providing suitable business space

E3 Affordable workspace

E4 Land for industry, logistics and services to support London’s economic function

E6 Locally Significant Industrial Sites

E11 Skills and opportunities for all

G1 Green infrastructure

G5 Urban greening

G6 Biodiversity and access to nature

G7 Trees and woodlands

G9 Geodiversity

SI 1 Improving air quality

SI 2 Minimising greenhouse gas emissions

SI 3 Energy infrastructure

SI 4 Managing heat risk

SI 7 Reducing waste and supporting the circular economy
SI 8 Waste capacity and net waste self-sufficiency
SI12 Flood risk management
SI 13 Sustainable drainage
T3 Transport capacity, connectivity and safeguarding
T4 Assessing and mitigating transport impacts
T5 Cycling
T6.2 Office Parking
T6.5 Non-residential disabled persons parking
T7 Deliveries, servicing and construction

Core Strategy (2010)

- 8.5 The Core Strategy was adopted in November 2010 and sets out a spatial planning framework for the development of the Borough through to 2025. The document provides the broad strategy for the scale and distribution of development and supporting infrastructure, with the intention of guiding patterns of development and ensuring development within the Borough is sustainable. The following is considered particularly relevant:

CP13 Promoting Economic Prosperity
CP15 Locally Significant Industrial Sites
CP16 Taking Part in Economic Success and Improving Skills
CP20 Sustainable Energy Use and Energy Infrastructure
CP21 Delivering Sustainable Water Supply, Drainage and Sewerage Infrastructure
CP22 Delivering Sustainable Waste Management
CP24 The Road Network
CP25 Pedestrians and cyclists
CP28 Managing flood risk through development
CP30 Maintaining and improving the quality of the built and open environment
CP32 Pollution
CP36 Biodiversity
CP44 North Circular Area
CP45 New Southgate
CP46 Infrastructure contributions

Development Management Document (2014)

- 8.6 The Council's Development Management Document (DMD) provides further detail and standard based policies by which planning applications should be determined. Policies in the DMD support the delivery of the Core Strategy.

The following Development Management Document policies are considered particularly relevant:

DMD20 Locally Significant Industrial Sites
DMD21 Complementary and Supporting Uses within SIL and LSIS
DMD23 New Employment Development
DMD25 Locations for New Retail, Leisure and Office Development
DMD37 Achieving high quality and design-led development
DMD38 Design Process
DMD39 The Design of Business Premises
DMD45 Parking standards and layout
DMD46 Vehicle Crossovers and Dropped Kerbs

DMD47 Access, new roads and servicing
DMD48 Transport Assessments
DMD49 Sustainable Design and Construction Statements
DMD50 Environmental Assessment Methods
DMD51 Energy efficiency standards
DMD53 Low and Zero Carbon Technology
DMD54 Allowable Solutions
DMD55 Use of Roof Space/Vertical Surfaces
DMD56 Heating and cooling
DMD57 Responsible Sourcing of Materials, Waste Minimisation and Green Procurement
DMD58 Water efficiency
DMD59 Avoiding and reducing flood risk
DMD60 Assessing flood risk
DMD61 Managing surface water
DMD62 Flood Control and Mitigation Measures
DMD63 Protection and Improvement of Watercourses and Flood Defences
DMD64 Pollution Control and Assessment
DMD65 Air Quality
DMD66 Land Contamination and Instability
DMD 68 Noise
DMD69 Light Pollution
DMD76 Wildlife Corridors
DMD79 Ecological Enhancements
DMD80 Trees on Development Sites
DMD81 Landscaping
DMD 83 Development adjacent to the Green Belt
DMD Appendix 7 London Plan parking and cycle standards

8.7 Other Material Considerations

National Planning Practice Guidance (NPPG, 2018)
Nationally Described Space Standard (NDSS, 2015)
Enfield 'Waste and Recycling Storage' Planning Guidance (2019)
New Enfield Local Plan
Section 106 Supplementary Planning Document (2016)

Enfield Local Plan (Reg 18) (2021)

8.8 The Reg 18 document sets out the Council's preferred policy approach together with draft development proposals for several sites. It is Enfield's Emerging Local Plan.

8.9 As the emerging Local Plan progresses through the plan-making process, the draft policies within it will gain increasing weight, but at this stage it has relatively little weight in the decision-making process.

8.10 Key local emerging policies from the plan are listed below:

PL7 New Southgate
SE1 Responding to the climate emergency
SE2 Sustainable design and construction
SE3 Whole-life carbon and circular economy
SE4 Reducing energy demand
SE5 Greenhouse gas emissions and low carbon energy supply

SE6 Renewable energy development
SE7 Climate change adaptation and managing heat risk
SE9 Protection and improvement of watercourses
SE10 Sustainable drainage systems
BG2 Protecting nature conservation sites
BG3 Biodiversity net gain, rewilding and offsetting
BG7 Watercourses
BG8 Urban greening and biophilic principles
BG11 Blue and green infrastructure plans
DE1 Delivering a well-designed, high quality and resilient Environment
DE2: Design process and Design Review Panel
D3: Inclusive design
DE8: Design of business premises
E1: Employment and growth
E3: Protecting employment locations and managing change
E4: Supporting offices
E5: Transforming Strategic Industrial Locations and Locally Significant Industrial Sites
E7: Providing for workspaces
E8: Local jobs, skills and local procurement
T1: Promoting sustainable transport
ENV1: Local environmental protection
D1: Securing contributions to mitigate the impact of development

9.0 Assessment

The main issues arising from this proposal to consider are:

1. Principle of development
2. Character and Appearance
3. Impact on Neighbouring Residential Amenity
4. Transportation
5. Sustainable Design and Construction
6. Sustainable Urban Drainage
7. Trees
8. Biodiversity
9. Secure by Design
10. Business and Employment Skills
11. Health Impact Assessment
12. Accessibility
13. Fire Safety
14. Section 106 Legal Agreement
15. Community Infrastructure Levy

Principle of development

- 9.1 The NPPF is clear in its support for economic development when it states that planning policies and decisions should help create the conditions in which businesses can invest, expand and adapt. Significant weight should be placed on the need to support economic growth and productivity, taking into account both local business needs and wider opportunities for development.

- 9.2 At a strategic level, Policy GG5 Growing a good economy of the London Plan, advises that those involved in planning in London must plan for sufficient employment and industrial space in the right locations to support economic development and regeneration. The Council adheres to this and the application is located in one such area that is specifically designated for supported industrial space. Furthermore, both the Core Policy (2010) and Development Management Document (2014) contain the policies which reflect the Council's commitment to fostering and supporting economic prosperity within the borough.
- 9.3 The application before the Planning Committee is one which is appropriate within the designated land use and is therefore acceptable in principle. The granting of planning permission within New Southgate Industrial Estate for the erection of new buildings to support storage and distribution (Use Class B8), flexible light industrial (Use Class E(g)(iii)) and general industrial (Use Class B2) would fully accord with the aspirations of the NPPF 2021 and the development plan.

Design and Appearance

- 9.4 Paragraph 3.1.7 of Policy D1 of the London Plan states that as change is a fundamental characteristic of London, respecting character and accommodating change should not be seen as mutually exclusive. Understanding of the character of a place should not seek to preserve things in a static way but should ensure an appropriate balance is struck between existing fabric and any proposed change. Opportunities for change and transformation, through new building forms and typologies, should be informed by an understanding of a place's distinctive character, recognising that not all elements of a place are special and valued.
- 9.5 Policy D3 of the London Plan expects "all development must make the best use of land by following a design-led approach that optimises the capacity of sites, including site allocations. Optimising site capacity means ensuring that development is of the most appropriate form and land use for the site. The design-led approach requires consideration of design options to determine the most appropriate form of development that responds to a site's context and capacity for growth, and existing and planned supporting infrastructure capacity".
- 9.6 Two contemporary, purpose-built buildings are proposed as part of the redevelopment. Architecturally, they are typical of what is expected of storage/industrial buildings in terms of mass, bulk and scale. A smaller, single storey industrial unit would sit forward of the larger five-storey building and provide an active frontage on approach to the development. Whilst both buildings would differ in size and scale, both have been designed to complement the other and provide a cohesiveness that would greatly improve the appearance of the site, which is prominently located next to the North Circular Road.
- 9.7 The storage building would be the larger of the two buildings. The proposed building form presents as two sections, a lower darker base with glazed sections around the reception and a lighter metal clad upper section with glazed inserts to provide passers-by with a view into the building. Both of these elements are then further broken down into smaller sections with the base rising up through the upper cladding in a number of locations. The building has been planned with a hierarchy of forms which increase in height towards the entrance creating a focal point for customers to follow. The entrance is also marked by a large area of glazed curtain walling above it. Window frames, roller shutters and access doors, flashings will all be the darker grey colouring in a similar palette to the rest of the façade.



Figure 3: Image of the proposed self-storage building

- 9.8 At ground floor level the primary material is a dark grey trapezoidal cladding panel. This is complemented by a large section of glazing which would wrap along the eastern and southern façades around the main entrance. This glazing would allow views into the storage reception area and also the business workspace. The glazing would provide an active frontage but also allow natural surveillance across the car park and towards the new pedestrian and cycle route linking to the North Circular. The glazing on the southern elevation ends at the main entrance sliding doors, beyond this are the loading bay roller shutters which would remain open during core hours and provide customer access to the lifts and upper levels or directly into the ground floor of the facility. Since the reception glazing is on the eastern and southern façades, a canopy has been added over to maintain a comfortable internal environment and to help minimise unwanted solar gains.
- 9.9 The upper portions of the building are proposed to have a light grey flat cladding panel, contrasting in both colour and texture to that below. Set within this cladding there would be three large areas of curtain walling, one on the southern elevation to help mark the entrance, and the other two on the eastern facades facing towards the North Circular. Although it is anticipated that from the North Circular the building will be largely obscured from view due to the dense tree screen, during the winter months it would be visible at upper levels. To activate this facade, these large glazed elements are broken by a series of vertical fins which are in Attic's signature orange and teal colourway. This curtain walling is slightly recessed to provide some articulation to the facade with the fins sitting proud of the glazing.
- 9.10 Overall the building has been treated in a relatively simple manner using colour and texture to generate an unfussy elevational treatment. As noted above, there are two cladding panels types used throughout, a darker grey trapezoidal metal cladding panel and a lighter grey flat metal cladding panel. These have been used in a consistent manner on each facade and are consistent with other Attic storage facilities. The design has actively avoided using too many different competing colours and textures on functional building which only has sensitive neighbours in a westerly direction.

- 9.11 Residential properties lie to the west of the site and currently have an outlook towards the blank elevation of the existing warehouse building. Following discussions with the agent, the west facing elevation was subsequently revised to include two grey tones, in order to add some visual interest on that elevation.
- 9.12 The overall appearance of the flexible industrial building is similar to the proposed storage building and would be finished in the same pale grey cladding panels at high level. The industrial unit would have a robust dark grey brick base which wraps around the whole unit. The roof will again be a metal deck system, but no green roof could be added due to the quantity of PV panels which are required.
- 9.13 Despite the business and industrial nature of the site, a scheme of landscaping is proposed to soften the appearance and promote biodiversity.

Impact on Neighbouring Residential Amenity

- 9.14 New Southgate Industrial Estate is well established and has existed with residential properties immediately adjacent. As times change, so does the land use and at this location, industrial land has made way for additional residential units. Residential and industrial land have successfully co-existed here. To the west of the site lie residential units with gardens on the mutual boundary with dwellings approximately 20 metres set back from the boundary. The new flatted development is approximately 5 metres from the boundary.
- 9.15 A daylight/sunlight report has been submitted and assessed against the widely recognised standards set out in BRE's Daylight, Sunlight, and Overshadowing assessments to quantify the potential daylight and sunlight affect to the neighbouring residential properties. The proposed self-storage building would be approximately 5 metres higher than the existing buildings, however, the findings of the report do not see this as an issue. The report has been undertaken by constructing a detailed 3D model of the existing and proposed development sites and surroundings, then using specialist computer software, daylight and sunlight simulations and numerical calculations are run within the 3D model environment.
- 9.16 The report concludes that the findings indicate that the development is not of an excessive scale for the immediate surrounding area in daylight and sunlight terms and will meet the intentions of the BRE guide. Therefore, the proposed scheme would meet the aims of the BRE Guidelines and would not impact on neighbouring properties in terms of loss of light.
- 9.17 Environmental Health officers raised no objection to the proposed redevelopment of the site and as such are satisfied that there will be no harmful impact on adjoining residents with regard to contamination, noise and air impacts.
- 9.18 In conclusion it is considered that the proposed redevelopment satisfies the aims of the Council in ensuring that the amenity of neighbouring residents is not diminished.

Transportation

Vehicle Parking

- 9.19 The London Plan, Core Strategy and DMD policies encourage and advocate sustainable modes of travel and require that each development should be assessed on its respective merits and requirements, in terms of the level of parking spaces to be provided for example.
- 9.20 Parking standards for B8 use should have regard to the office parking standards as set out in the London Plan Table 10.4. having regard to the London Plan, the new buildings should provide the following number of parking spaces:
- 13-80 spaces for the B8 storage unit based on the standard of 1xspace per 100sqm – 600sqm.
 - 1 – 5 spaces for the flexible industrial unit based on the standard of 1xspace per 100sqm – 600sqm.
- 9.21 The scheme proposes to provide the following number of parking spaces:
- Storage: 11 spaces + 5 loading bays (8,156sqm)
 - Industrial: 3 spaces + 1 loading bay (456 sqm)
- 9.22 The storage unit is providing 11 spaces which is acceptable, and this has been confirmed by the Traffic and Transportation Team. Additional loading bays are also proposed which will help in terms of operational needs. It is noted that the occupant may change, however the site is well served by local transport and therefore the provision is acceptable.
- 9.23 The flexible industrial unit is a smaller unit, and the provision of 3xspaces is in the middle of the maximum range of 1-4 is acceptable. As per the storage unit, 1 additional loading bay is also proposed which would assist with the operational needs of the building.

Vehicle Parking Layout

- 9.24 Vehicle tracking has been provided, and this confirms the type of expected vehicles, including refuse vehicles and rigid vans that would visit the site.
- 9.25 Electric vehicle charging points will be provided, however, the locations, numbers and details have not been provided. Details will be secured by condition.

Vehicular Access & Traffic.

- 9.26 The vehicular access will be from an existing access road (Lower Park Road) and no changes are proposed to this access and this is acceptable.
- 9.27 It is noted that traffic along the access road will change, given the change of use. The Transport Assessment (TA) contains estimates on the vehicle trip generation to and

from the site, taken from the TRICS database. This is the accepted industry standard approach.

9.28 It is noted that the existing site would have generated its own level of trips, for the office use and the industrial use. These are estimated in the TA to have been slightly higher in the peak times than the proposed trips for the new development. This can be explained by the inclusion of 1,376sqm of office space in the existing development, which would generally have a higher employment density and therefore more associated trips. However, it should be noted that the trip generation figures are only estimates and not figures from actual traffic flow surveys, and the net increase in floorspace of 5901sqm (2711sqm > 8612sqm) could lead to more trips to and from the storage site throughout the day.

9.29 The trip estimates taken from the TA are shown below:

	Morning Peak Hour (08:00 – 09:00)			Evening Peak Hour (17:00 – 18:00)		
	Arr	Dep	Two-Way	Arr	Dep	Two-Way
Proposed Self-Storage Trip Generation	2	2	4	4	4	8
Proposed Industrial Unit Trip Generation	2	0	2	0	2	2
Total Trip Generation	4	2	7	4	6	10

Source: Consultant's Calculations (rounding applied)

Table 1: Total Proposed Development Vehicle Trip Generation

9.30 It is noted that the existing site would have generated its own level of trips, for the office use and the industrial use. These are estimated in the TA to have been slightly higher in the peak times than the proposed trips for the new development. This can be explained by the inclusion of 1,376sqm of office space in the existing development, which would generally have a higher employment density and therefore more associated trips. However, it should be noted that the trip generation figures are only estimates and not figures from actual traffic flow surveys, and the net increase in floorspace of 5901sqm (2711sqm > 8612sqm) (2.3 Planning Statement) could lead to more trips to and from the storage site throughout the day.

9.31 However overall, the trip assessment is considered valid, and the developments are not considered to generate a significant volume of traffic that may otherwise negatively impact on the local highway network.

Pedestrian and Cycle Access

9.32 A new pedestrian/cycle path is proposed through the site using the existing closed access from the North Circular Road. This is welcomed as it opens up the site to the existing cycle path along the North Circular and improves connectivity across the site.

- 9.33 The existing footway from Lower Park Road, used to currently access the site, will be retained.

Cycle Parking

- 9.34 Cycle parking requirement is 1xspace per 500sqm for long stay and 1xspace per 1000sqm. It is noted that parking will be predominantly for staff, due to the nature of the use so again flexibility can be applied.
- 9.35 The Transport Assessment confirms that 18no long stay and 8no short stay will be provided for the storage unit, and 2no long stay and 2no short stay will be provided for the flexible industrial units, meeting the above standards. The spaces should be secure and covered, in line with best practice. The plans do not confirm this, therefore a condition will be included should permission be granted.

Sustainable Transport

- 9.36 The scale of the development means it triggers a requirement for a sustainable transport contribution. Based on the floorspace this will be £24,557. The contribution is to continue the implementation of Healthy Streets (previously known as Cycle Enfield - the Council's major initiative to reduce car dependency and promote active travel) and items which the contribution would go towards include: Cycle infrastructure, towards proposed segregated lanes; cycle parking (including at stations, shops); Pedestrian Environment Review System (PERS) audits plus any recommendations from the results of the audit; pedestrian dropped kerbs; crossing points; traffic orders, waiting restrictions plus enforcement; planters, landscaping and SUDS.
- 9.37 The proposed development is unlikely to have a negative impact on existing street parking availability and makes appropriate provision for access and servicing having regard to DMD Policies 8 & 45 and The London Plan Policy T6.

Refuse

- 9.38 Refuse storage would be undertaken as per existing council waste arrangements and from within the service yards at the front of each building.

Sustainable Design and Construction

- 9.39 Policy DMD49 states all new development must achieve the highest sustainable design and construction standards and include measures capable of mitigating and adapting to climate change to meet future needs having regard to technical feasibility and economic viability. Policy DMD51 states further energy efficiency standards and that all developments will be required to demonstrate how the proposal minimises energy-related CO₂ emissions which must adhere to the principles of the energy hierarchy in the policy. This follows policy CP20 of the Core Strategy which states that the Council will require all new developments, to address the causes and impacts of climate change by:

- minimising energy use;
 - supplying energy efficiently; and
 - using energy generated from renewable sources in line with the London Plan and national policy.
- 9.40 Energy usage and sustainability statements have been submitted. These have been reviewed by the Council's Sustainability Officer. The Sustainability Officer has advised that the proposal achieves operational net zero with low space heating demand and robust PV installation. Subject to no gas fired heating solutions which the sustainability appraisal categorically states there would not be (gas being a carbon generating fossil fuel and a danger to the climate), there is no objection to the proposal in terms of energy/carbon production.
- 9.41 Carbon net zero would be achieved in line with the energy hierarchy through the use of air-source heat pumps and PV roof panels. A reduction of 115% beyond Building Regulations would be achieved for the self - storage building and reduction of 132% beyond Building Regulations would be achieved for the flexible employment building.
- 9.42 Ladderswood DEN is close to the site and since we would not expect the storage unit to be heated and there is no indication that it may be necessary within the foreseeable future; the estimated heating demand does not justify the connection despite the policy to prioritise connection to the DEN.
- 9.43 Whilst the accompanying reports have stated operational net zero carbon, conditions should be attached to ensure and evidence that this is the case once the units have been constructed and should this position change, a financial contribution would be required as a carbon compensation via the New Development Carbon Fund (NDCF). A clause should be included with a legal agreement to cover this, should the situation arise.
- 9.44 Policy DMD Policy 50 requires non-residential development to be BREEAM 'Excellent' rating. The applicant has submitted an Energy and Sustainability Statement stating the building fabric of the proposal would, as a minimum, have a BREEAM Excellent rating.

Sustainable Urban Drainage

- 9.45 London Plan policies 5.12 and 5.13 require the consideration of the effects of development on flood risk and sustainable drainage respectively. Core Policy 28 ("Managing flood risk through development") confirms the Council's approach to flood risk, inclusive of the requirement for SuDS in all developments. Policy DMD59 ("Avoiding and reducing flood risk") confirms that new development must avoid and reduce the risk of flooding, and not increase the risks elsewhere and that planning permission will only be granted for proposals which have addressed all sources of flood risk and would not be subject to, or result in unacceptable levels of flood risk on site or increase the level of flood risk to third parties.
- 9.46 DMD61 ("Managing surface water") requires the submission of a drainage strategy that incorporates an appropriate SuDS scheme and appropriate greenfield runoff rates. The Council's drainage engineers have reviewed the drainage and flooding

documentation supporting the application. For the system of sustainable drainage, it is proposed to implement a combination of green roof, balancing pond, porous paving to parking bays, petrol interceptors, trapped gullies and drainage channels with silt pit outlets to intercept any sediment or hydrocarbons entering the surface water system before discharge to the adjacent watercourse.

- 9.47 In order to fully support the proposal, additional discussions took place and the Council's engineers have now confirmed that the proposal would not increase flood risk at the application site or outside of the site and the SuDS strategy is acceptable, in accordance with Core Strategy Policy 28 and DMD Policy 59 and DMD Policy 62.

Trees

- 9.48 An Arboricultural Impact Assessment (AIA) has been submitted with the application, outlining the condition of the trees on-site. Some of the trees are in poor health and need to be removed. Other trees are self-seeded and not thriving in the appropriate location. It is proposed that a very small number of trees will be removed followed by compensatory tree planting which would result in an increase of eight new trees in more suitable locations within the site.
- 9.49 It is proposed that three low value category C trees (ash, cherry and elder) would be removed and eight new trees would be planted and consist of pine, alder and cherry. Other shrubs and hedges will also be planted. Four new trees would be planted between the proposed storage building and the North Circular Road, which would add to the existing natural screening around the seating area. Again, this adds visual interest whilst making a contribution towards improving the natural environment and habitats.
- 9.50 Proposals from an arboriculture perspective are considered to be a significant betterment compared to the existing site. The new building is pulled back away from existing trees compared to the current building creating more space which will reduce pressures to prune or remove the existing trees. Hard surfacing to the east of the site is also proposed to be removed from the root protection area of a large mature tree and returned to soft landscaping. The proposal would significantly green the site compared to the existing situation and deliver a net increase in tree numbers compared to trees being removed.
- 9.51 The proposed loss of trees is not significant and clearly no significant or high value trees or quantity of trees are being removed. All other trees and vegetation can be retained. The Council's Tree Officer has reviewed the AIA and is satisfied that the approach to the trees on the site is the correct one and has no objection.

Biodiversity

- 9.52 An Ecological Impact Assessment (EIA) has been prepared and sets out the findings of an Ecological Impact Assessment undertaken at the site. The site does not include any statutory or non-statutory protection. The site is directly adjacent to Pymmes Brook, which is part of Arnos Park SINC.

- 9.53 The Ecological Impact Assessment demonstrates that no ecological features are present that would affect the principle of development at the site. A biodiversity appraisal has been undertaken which confirms that there are no protected species on the site. The appraisal contains recommendations for enhancements, which include the green roof, scrub, neutral grassland and hedgerow planting.
- 9.54 In accordance with Policy DMD79 the proposal includes the installation of ecological enhancements such as bat and bird boxes. Bat and bird boxes, including their proposed location are contained within the EIA. It is recommended that a condition be attached to ensure that the scheme is completed in accordance with the recommendations contained in the EIA.
- 9.55 A well-considered scheme of landscaping is proposed which would screen the larger building and soften the perimeters of the site. Landscaping around the smaller industrial building would create a soft buffer between the site boundary, main vehicular route and proposed industrial building. A green sedum roof is also proposed on the larger storage building which is welcomed as it will further enhance the biodiversity offer and assist with sustainable drainage.
- 9.56 A biodiversity appraisal has been undertaken which confirms that there are no protected species on the site. The appraisal contains recommendations for enhancements, which include the green roof, scrub, neutral grassland and hedgerow planting.
- 9.57 It is considered that the proposed development in accordance with Policies CP20, CP21, CP36, DMD51, DMD53, DMD54, DMD55, DMD59, DMD60, DMD61, DMD62, DMD63, DMD78, DMD79 and DMD80 of the approved development plan.

Urban Green Factor

- 9.58 Policy G5 of the London Plan (2021) requires all major development proposals to contribute to the greening of London by including urban greening as a fundamental element of site and building design, and by incorporating measures such as high-quality landscaping (including trees), green roofs, green walls and nature-based sustainable drainage.
- 9.59 As part of the overall redevelopment, landscaping that includes flowers, trees and a green roof are embedded in the proposal. Policy G5 sets an Urban Factor score of 0.4. The figure is calculated on the basis of the area of each particular green added together then divided by the total site area.

Based on the amount of proposed greenery, the Urban Green Factor of this site works out at the target figure of 0.4, therefore complying with London Plan Policy G5

Secure by Design

- 9.60 The Metropolitan Police met with the project design team to review safety, security and crime prevention at the site and the new planning proposals. The Metropolitan Police has no objection to the proposed development subject to the attachment of a

condition to ensure the development achieves a Certificate of Compliance to the relevant Secure by Design Guide(s) or alternatively achieve Crime Prevention Standards.

Business and Employment Skills

- 9.61 The Council is committed to maximising the number and variety of jobs and apprenticeships available to residents of the borough and maintaining and encouraging the widest possible range of economic activity, including the availability of a skilled labour force. To this end, the Council will seek agreement with developers to secure appropriate planning obligations for employment and training initiatives as part of development proposals.
- 9.62 Policy E11 Skills and opportunities for all of the London Plan seeks to provide local initiatives to promote inclusive access to training, skills and employment opportunities for all Londoners, which mirrors the Council's aspirations.
- 9.63 The proposal falls within the criteria for developer contributions towards business, employment and skills as it would result in floorspace greater than 1000 square metres. In accordance with LB Enfield's Section 106 Supplementary Planning Guidance (SPG) (2016) therefore, the Applicant has agreed to a Section 106 obligation relating to securing local employment, delivering apprenticeships and training opportunities, and utilising local businesses in the supply chain.
- 9.64 The applicant envisages that approximately 99 jobs and £9.8 million GVA would be created at construction stage. Up to 310 jobs and up to £17.9 million GVA per annum at the operational stage.
- 9.65 Based on the cost of the proposed development, the S106 agreement would secure the following: 25% local labour; 10% local spend on materials; 2 apprentices and 1 supported employment opportunity.

Health Impact Assessment

- 9.66 The online National Planning Practice Guidance refers to health impact assessment (HIA) as a useful tool to assess and address the impacts of development proposals. The London Plan and many boroughs Local Plans also refer to the use of HIA.
- 9.67 A Health Impact Assessment (HIA) has been prepared to examine the potential health effects associated with the proposed development.
- Active Travel
 - Healthy Environment
 - Vibrant Neighbourhoods
- 9.68 The Regulation 18 Consultation of the Enfield Local Plan which covers the period up to 2039 outlines that certain developments are required to submit a HIA. The recommended guidance to follow for preparing a HIA is the latest Health Urban Planning Checklist from the Healthy Urban Development Unit, which is the guidance that is followed in submitting HIA.

- 9.69 In addition to the HIA, various reports such as sustainability and air quality have been submitted. A comprehensive assessment of the proposal has been undertaken by the applicant and there are no issues arising under the umbrella of impact on places or the environment that would require the application to be refused planning permission.

Accessibility

- 9.70 All areas of the self-storage facility will be suitable for wheelchair users, although wheelchair users will be provided with ground floor storage facilities. Wheelchair suitable lifts will also be provided. The other building will be similar with accessible toilets, suitably wide doors and disabled parking outside the main entrance.

Fire Statement

- 9.71 In accordance with Policy D21 of the London Plan, a Fire Statement is required for this application as it is a major planning application. London Fire Brigade has reviewed the application and advised that they have no objection to the scheme as submitted.
- 9.72 Any future modifications to the scheme would be subject to Building Regulations approval and should consider the fire strategy, such that fire safety measures are not compromised within the developments.

11.0 S106 Legal Agreement

- 11.1 Any planning obligations must be necessary to make the development acceptable in planning terms; directly related to the development; and fairly and reasonably related in scale and kind to the development. Having regard to this, and the content above Having regard to the content above, it is recommended that should planning permission be granted, the following obligations / contributions should be secured through a s106 legal agreement:
- 11.2 The necessary Heads of Terms are:
- Employment and skills strategy in accordance with the S106 SPD including 25% local labour; 10% local spend on materials; 2 apprentices and 1 supported employment opportunity
 - Sustainable transport £24,557
 - New Development Carbon Compensation fund
 - Monitoring fee (Up to 5% of the total value of financial contributions will be charged, a fixed charge to manage non-monetary obligations of £350 per head of term.

12.0 Community Infrastructure Levy (CIL)

- 12.1 In April 2010, legislation in the form of the Community Infrastructure Levy Regulations 2010 (as amended) came into force which allowed 'charging authorities' in England and Wales to apportion a levy on net additional floorspace for certain

types of qualifying development to enable the funding of a wide range of infrastructure needed as a result of development.

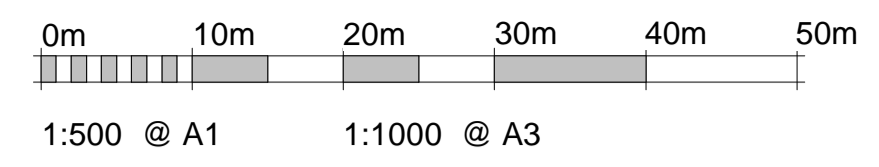
- 12.2 A total of £380,882.73 would be required for only Mayoral CIL as the proposal falls under Class B8 and Class B2.

13.0 Public Sector Equalities Duty

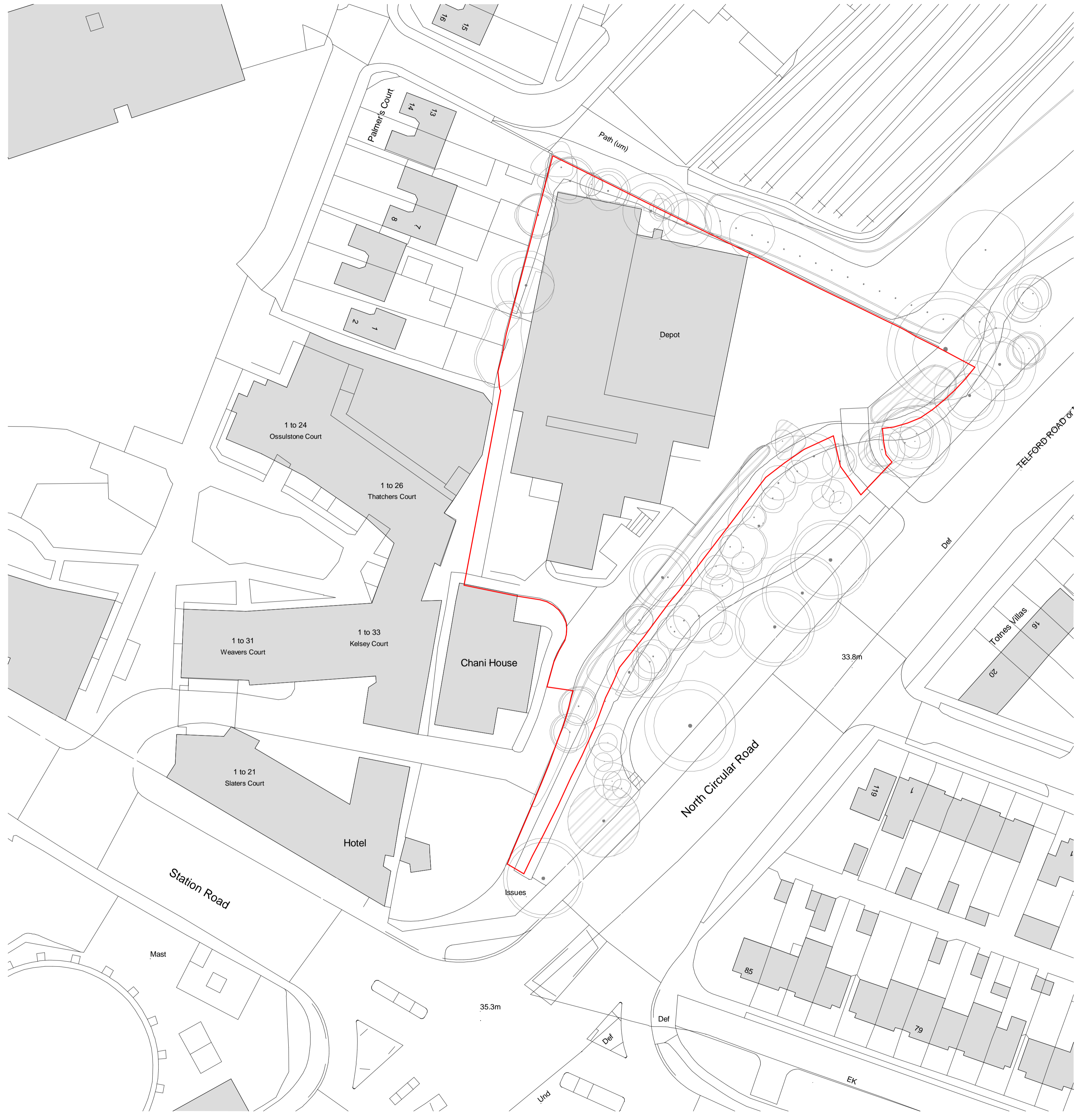
- 13.1 In line with the Public Sector Equality Duty the council must have due regard to the need to eliminate discrimination and advance equality of opportunity, as set out in section 149 of the Equality Act 2010. Section 149 of the Act requires public authorities to have due regard to several equality considerations when exercising their functions including decision making on planning applications. These considerations include: Eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act; Advance equality of opportunity between persons who share a relevant protected characteristic (explained in detail below) and persons who do not share it; Foster good relations between persons who share a relevant protected characteristic and persons who do not share it.
- 13.2 The main objective of the duty is to ensure public policies and programmes are implemented fairly, in particular with regard to their impact on the protected characteristics identified above. In making this recommendation, due regard has been given to the Public Sector Equality Duty and the relevant protected characteristics (age, disability, gender reassignment, marriage / civil partnership, pregnancy and maternity, race, religion or belief, sex, and sexual orientation).
- 13.3 When determining the planning application (and thereby accounting for the representations resulting from public consultation), the Council has considered the potential effects of the proposed development on those with protected characteristics as defined under the Equality Act 2010. In doing this, the Council has had due regard to equality considerations and attribute appropriate weight to such considerations. In providing the recommendation to Members that planning consent should be granted, officers have considered equalities impacts in the balance, alongside the benefits arising from the proposed development. The Council has also considered appropriate mitigation to minimise the potential effects of the proposed development on those with protected characteristics.
- 13.4 There are no statutory or regulatory requirements for the form or content of an equalities assessment. The scale and significance of such impacts cannot always be quantified, and it is common to address this through descriptive analysis of impacts and identifying whether such impacts are adverse or beneficial. The key elements of the proposed development which have an impact that could result in an equalities effect include the design and physical characteristics of the proposals subject to the planning application. Officers do not consider there would be a disproportionate equalities effect.

14.0 Conclusion and Recommendation

- 14.1 The starting point for the determination of any planning application is the development plan. Paragraph 11(d) of the NPPF, and the application of the tilted balance means that planning permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole, which also includes the Development Plan. Moreover, planning permission should be approved unless “the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed”.
- 14.2 The development would provide new 21st century business and industrial space which would greatly improve the appearance of the site.
- 14.3 The above assessment against the development plan policies has produced the following conclusion:
- The proposal would see the retention of employment uses on site meet the requirements of policy.
 - The proposal would see an uplift in employment uses on the site and this is very much welcomed.
 - In terms of design, it is considered appropriate in form and design and would not result in detrimental harm to the character and appearance of the locality.
 - The proposal meets with policy objectives for sustainability.
 - The proposal would protect and enhance the ecological value of the site.
 - The proposal would not harm the amenity of the occupiers of neighbouring residents through loss of privacy, light or outlook
 - There are no identified adverse effects on highway safety or traffic generation.
- 14.4 It is considered the proposed development is acceptable when assessed against relevant national, regional and local planning policies. Members are being asked in considering the officer recommendation to grant planning permission to also grant delegated authority to officers to agree the final wording for these conditions and/or legal agreement Heads of Terms. Having regard to the above it is considered that planning permission should be granted subject to conditions and the completion of a Section 106 to secure business and employment skill obligations and sustainable transport requirements.



Rev	Date	Version Description	Drn	Chk
/	08/07/22	Planning Issue	CC	JS



1 Existing Block Plan
1 : 500

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION
In addition to the hazards/risks normally associated with the types of work detailed on this drawing, refer to Designers Risk Assessment, note the following :

It is assumed that all works will be carried out by a competent contractor working, where appropriate, to an approved method statement

Contractors Must Verify All Dimensions On Site Before Starting Work
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Client: **ATTIC SELF STORAGE**
Project Name: **Attic New Southgate**
New Southgate Industrial Estate, Lower Park Rd, New Southgate, N11 1QD

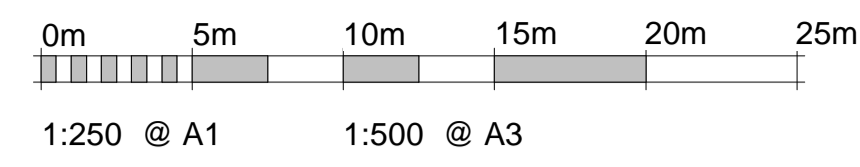
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Drawing Status: **PLANNING**

Drawing Details: DMWR Job No. **3828**

Drawn By: VS	Drawn Date: 31/03/22	Checked By: JS	Scale @ A1: 1 : 500
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Drawing Number: 3828-DMWR-A-PL-0101	Status: P	Revision: /
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Proposed Attic Area Schedule				
	Ground	1st - 3rd	4th	Total
GIA	1,772m ² 19,074ft ²	1,772m ² 19,074ft ²	1,218m ² 13,110ft ²	8,306m ² 89,405ft ²
GEA	1,858m ² 20,000ft ²	1,864m ² 20,064ft ²	1,294m ² 13,929ft ²	8,744m ² 94,119ft ²

Proposed Industrial Area Schedule	
GIA	456m ² 4,908ft ²
GEA	490m ² 5,274ft ²

Rev	Date	Version Description	Drn	Chk
/	08/07/22	Planning Issue	CC	JS

- Key**
- Proposed Attic Unit
 - Industrial Unit
 - Existing trees
 - Proposed new trees
 - Permeable paving
 - Non-permeable paving
 - Proposed new fenceline
 - Proposed new foot/cycle path

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION
 In addition to the hazards/risks normally associated with the types of work detailed on this drawing, refer to Designers Risk Assessment, note the following:

Note: For further landscaping details see Pegasus detailed soft landscaping plans P21-2977_01-A & 02-A

It is assumed that all works will be carried out by a competent contractor working, where appropriate, to an approved method statement

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Client: **ATTIC SELF STORAGE**
 Project Name: **Attic New Southgate**
 New Southgate Industrial Estate, Lower Park Rd, New Southgate, N11 1QD

Drawing Title: **Proposed Site Plan**

Drawing Status: **PLANNING**

Drawing Details: DMWR Job No. **3828**

Drawn By: VS	Drawn Date: 29/03/22	Checked By: JS	Scale @ A1: As indicated
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Drawing Number: 3828-DMWR-A-PL-0104	Status: P	Revision: /
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1 Proposed Attic Ground Floor G.A. Plan
 1:200



2 Proposed Attic 1st - 3rd Floor G.A. Plan
 1:200

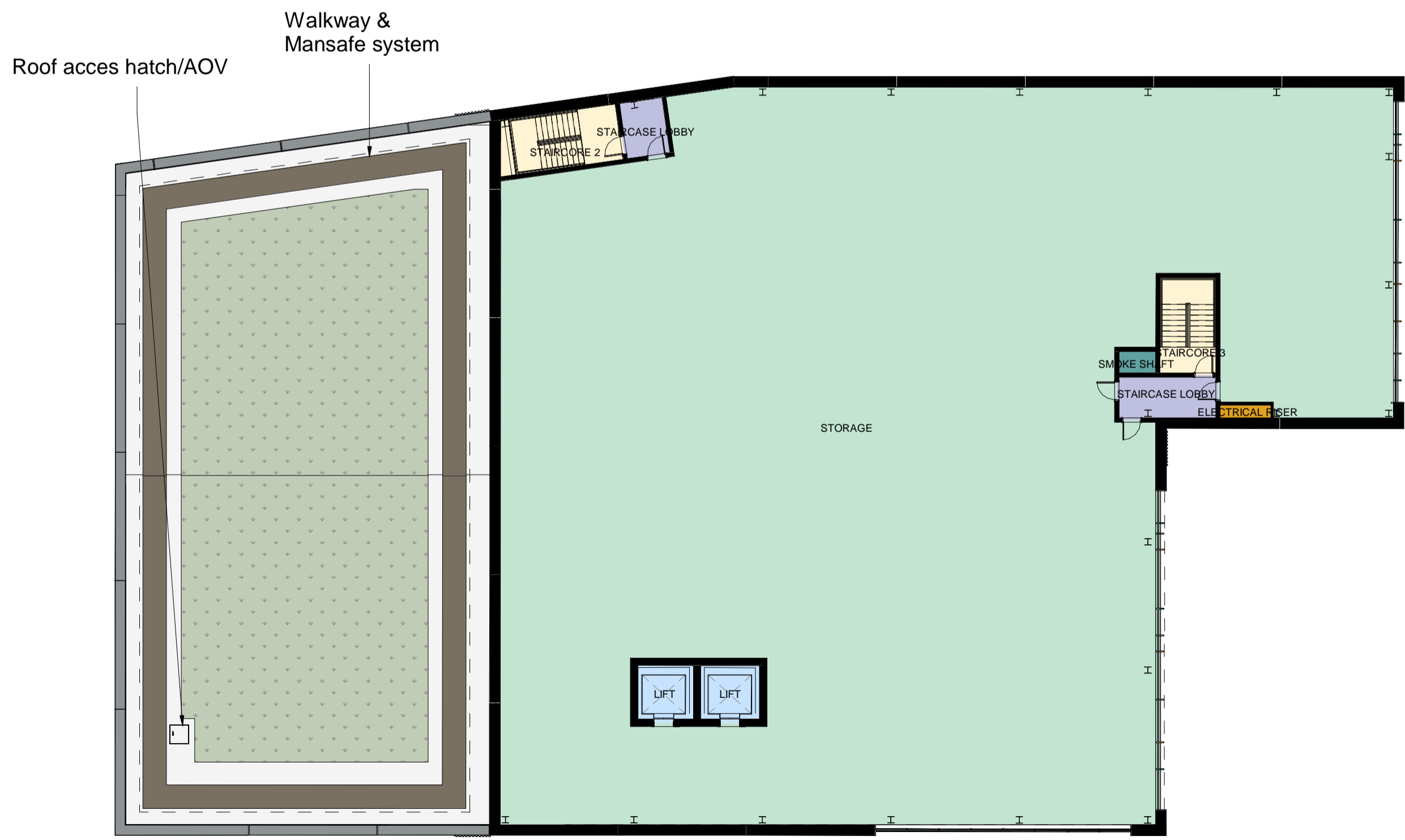
- Room Key**
- DIS WC
 - DRIVE UP UNIT
 - ELECTRICAL INTAKE
 - ENTRANCE LOBBY
 - INDUSTRIAL UNIT
 - LIFT
 - MANAGER'S OFFICE
 - PARCEL AREA
 - PLANT ROOM (CLEANERS)
 - RECEPTION
 - REFUSE
 - SERVER ROOM
 - SHOWER ROOM
 - SMOKE SHAFT
 - STAFF WELFARE
 - STAIRCASE LOBBY
 - STAIRCORE 1
 - STAIRCORE 2
 - STAIRCORE 3
 - STORAGE
 - UNLOADING BAY
 - WC
 - WORKSPACES

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION

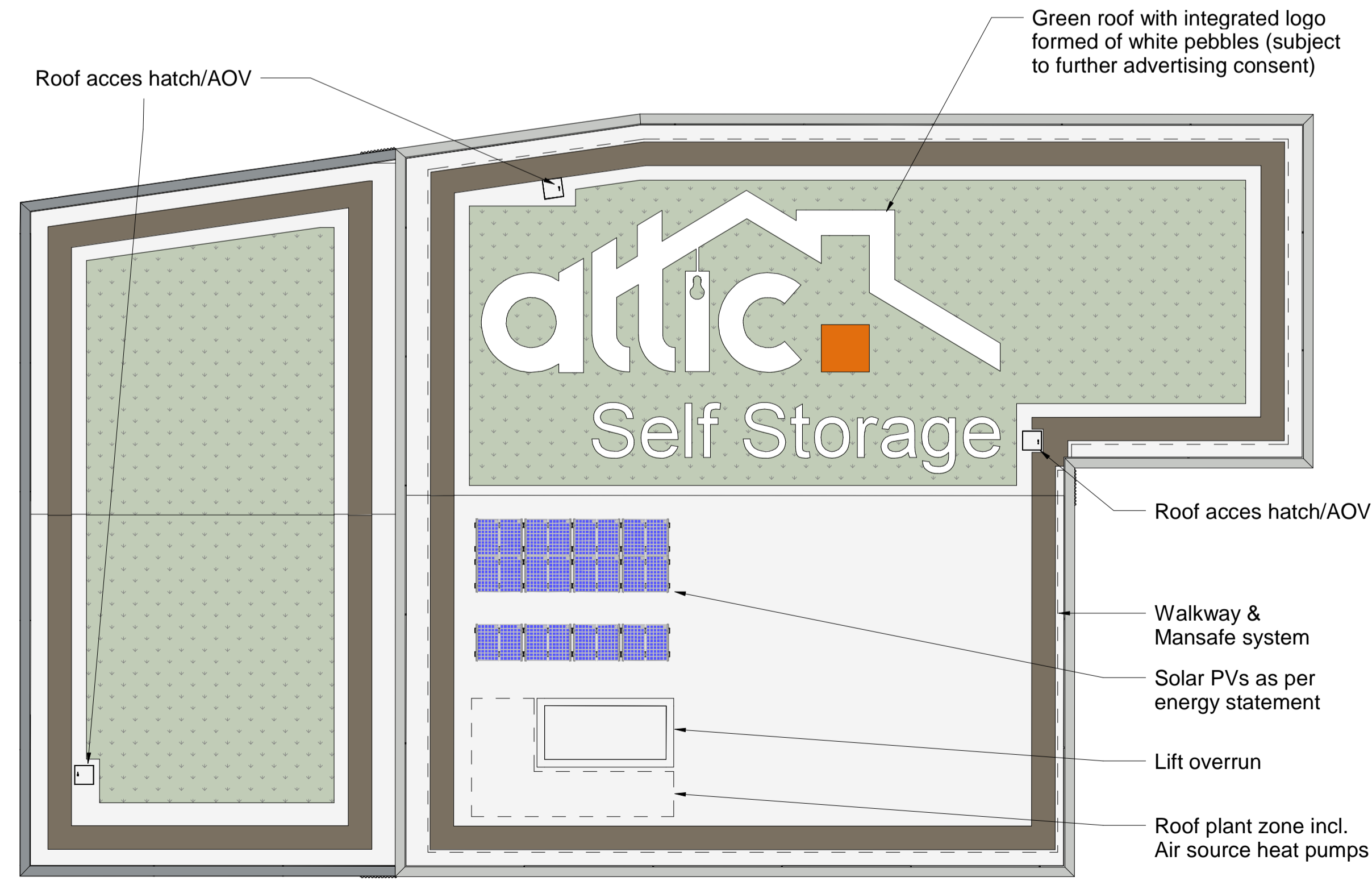
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3 Proposed Attic 4th Floor G.A. Plan
 1:200



4 Proposed Attic Roof Plan
 1:200

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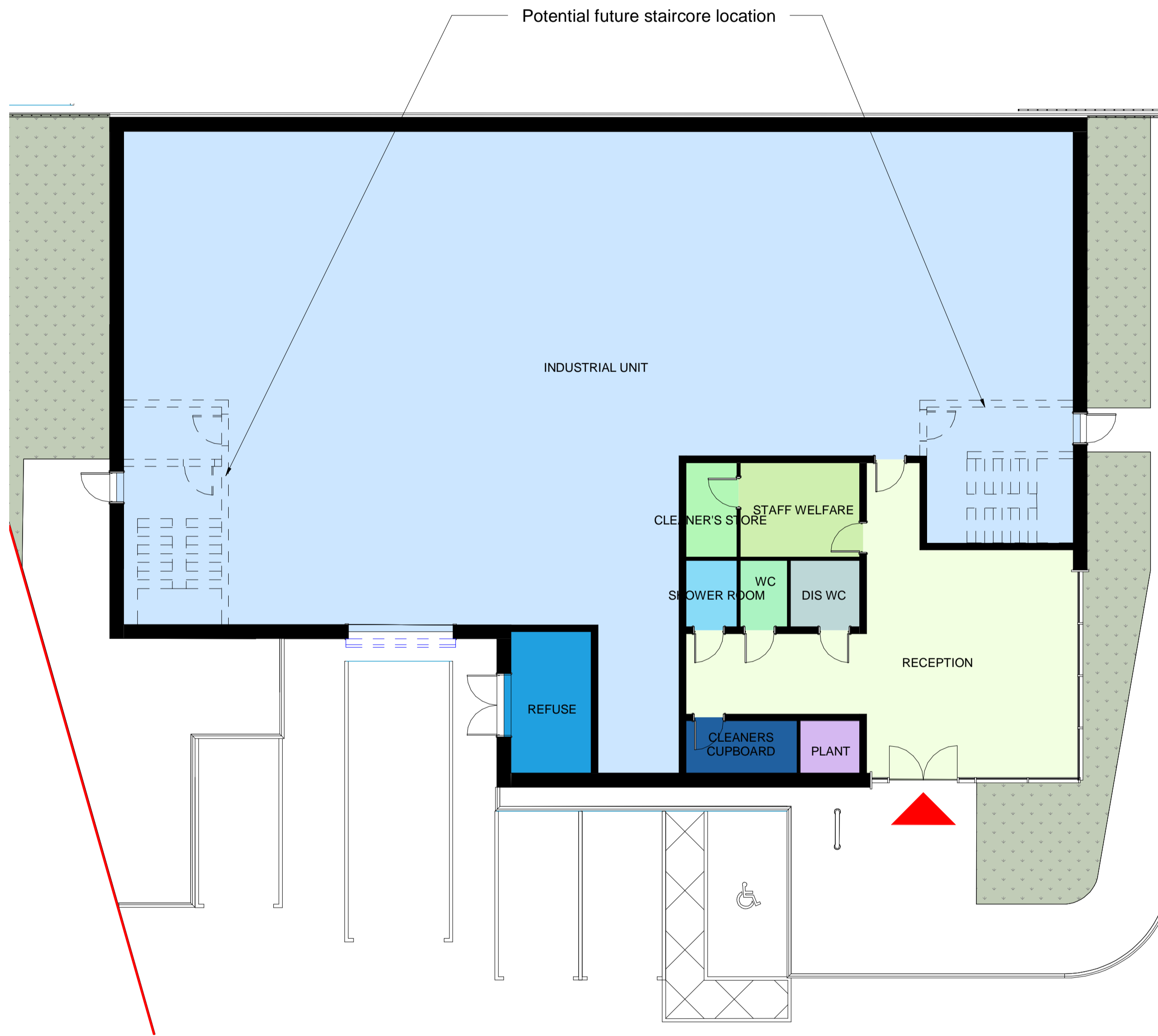
Client: **ATTIC SELF STORAGE**
 Project Name: **Attic New Southgate**
 New Southgate Industrial Estate, Lower Park Rd, New Southgate, N11 1QD

Drawing Title: **Proposed Attic Self Storage Floor G.A. Plans**

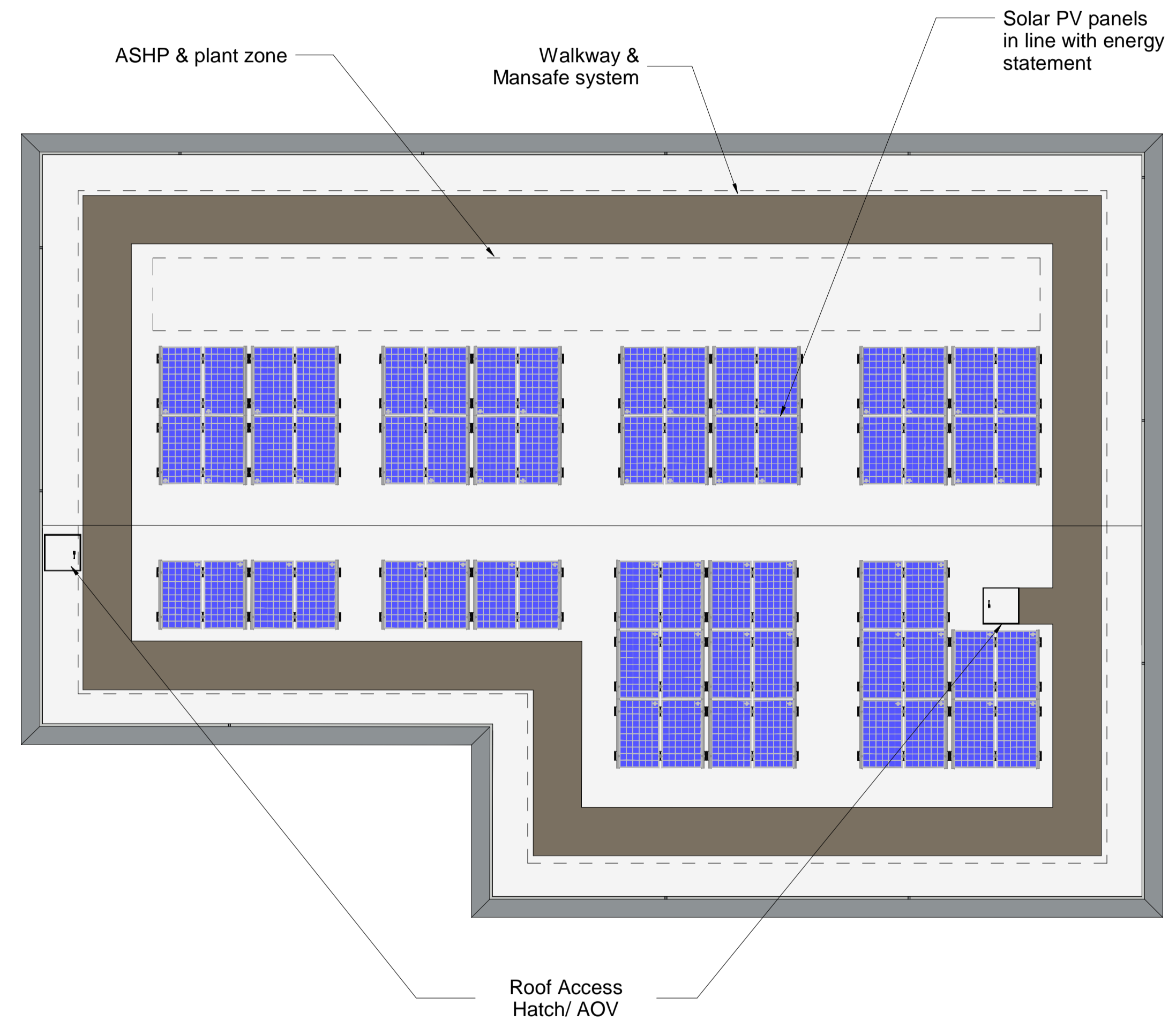
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Drawing Details: DMWR Job No. **3828**

Drawn By: CC	Drawn Date: 30/03/22	Checked By: JS	Scale @ A1: 1:200
Drawing Number: 3828-DMWR-A-PL-0105	Status: P	Revision: /	



1 Proposed Industrial Ground Floor G.A. Plan
 1 : 100



2 Proposed Industrial Roof Plan
 1 : 100

- Room Key**
- CLEANER'S STORE
 - CLEANERS CUPBOARD
 - DIS WC
 - INDUSTRIAL UNIT
 - PLANT
 - RECEPTION
 - REFUSE
 - SHOWER ROOM
 - STAFF WELFARE
 - WC

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION
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Client
ATTIC SELF STORAGE
 Project Name
Attic New Southgate
 New Southgate Industrial Estate, Lower Park Rd, New Southgate, N11 1QD

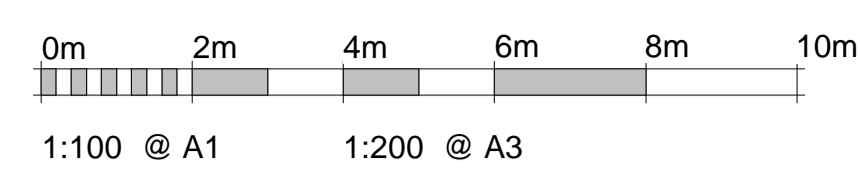
Drawing Title
Proposed Industrial Unit Ground Floor Plan

Drawing Status
PLANNING

Drawing Details
 DMWR Job No.
3828

Drawn By	Drawn Date	Checked By	Scale @ A1
VS	13/04/22	JS	1 : 100

Drawing Number	Status	Revision
3828-DMWR-A-PL-0106		/



1 Proposed Attic South Elevation
1 : 100



2 Proposed Attic East Elevation
1 : 100

Rev	Date	Version Description	Drn	Chk
/	08/07/22	Planning Issue	CC	JS

PROPOSED MATERIAL KEY

- Aluminium PPC Cladding Panel RAL 7035 - Light Grey
- Curtain Panel Frame RAL 7045 - Telegrey
- Glazed Curtain Wall Window
- Lighting Channel RAL 5021 - Water Blue
- Roller shutter door RAL 7035 - Light Grey
- Trapezoidal Cladding Panel - Dark Grey
- Pedestrian access door RAL 7035 - Light Grey
- Reception Canopy RAL 2011 - Deep Orange
- Capping Profile RAL 7035 - Light Grey
- Curtain Panel Frame RAL 2011 - Deep Orange
- Curtain Panel Frame RAL 5021 - Water Blue

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION

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Client: **ATTIC SELF STORAGE**
Project Name: **Attic New Southgate**
New Southgate Industrial Estate, Lower Park Rd, New Southgate, N11 1QD

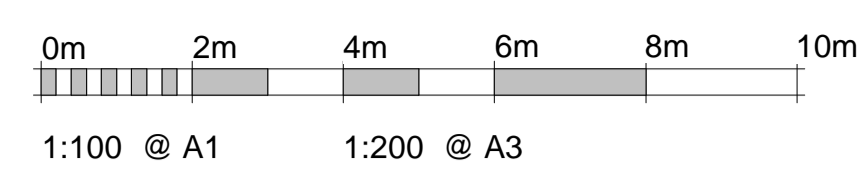
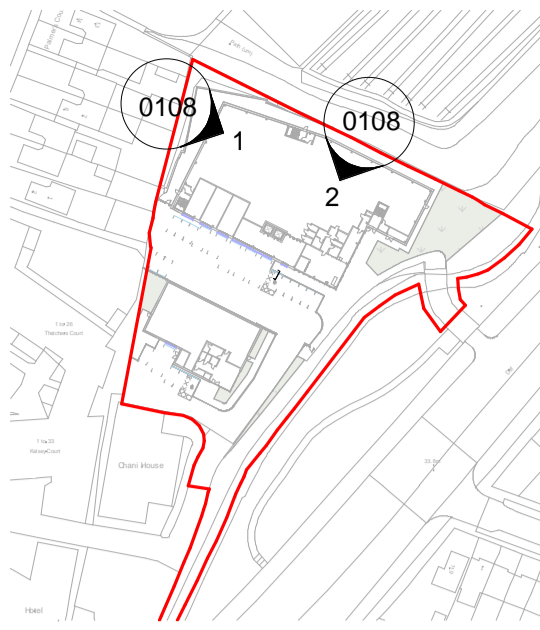
Drawing Title: **Proposed Attic Elevations South & East**

Drawing Status: **PLANNING**

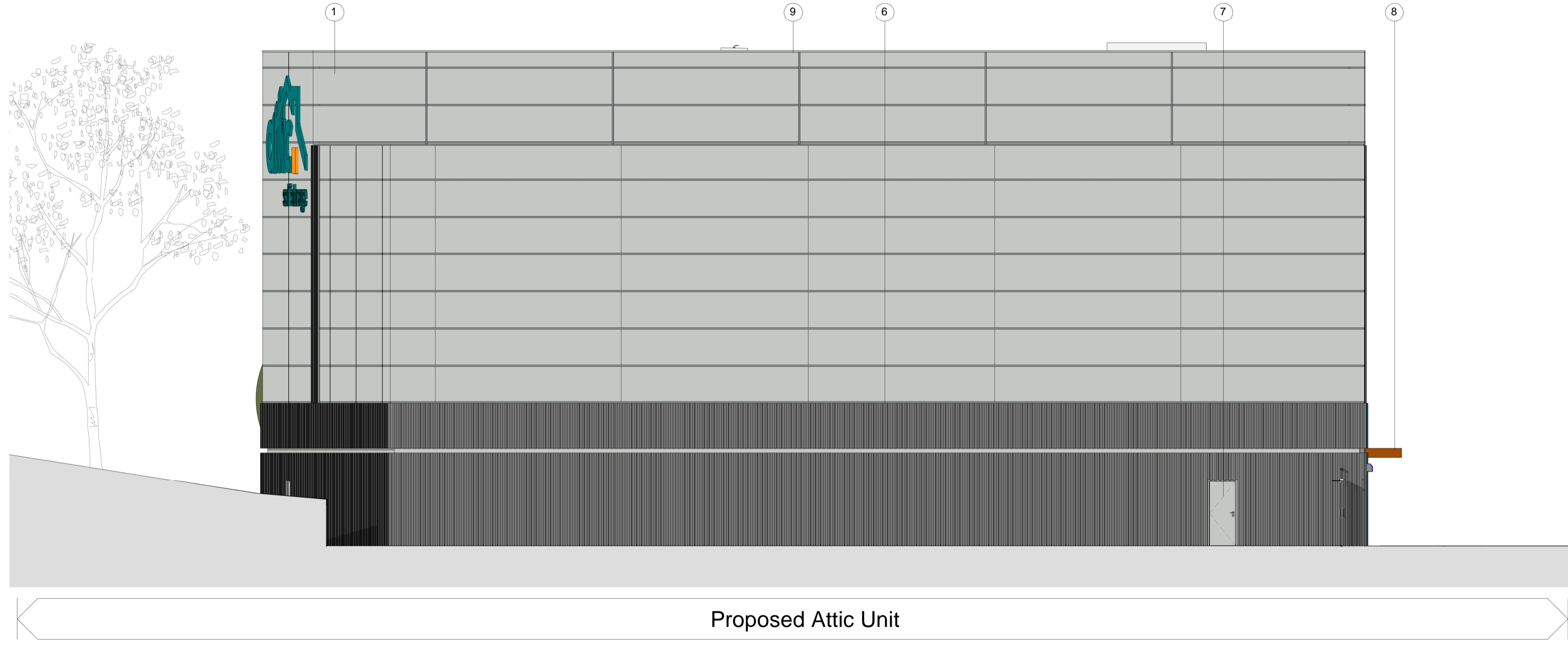
Drawing Details: DMWR Job No. **3828**

Drawn By: VS	Drawn Date: 30/03/22	Checked By: JS	Scale @ A1: As indicated
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Drawing Number: 3828-DMWR-A-PL-0107	Status: /	Revision: /
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Rev	Date	Version Description	Drn	Chk
/	08/07/22	Planning Issue	CC	JS



1 Proposed Attic West Elevation
1:100

- PROPOSED MATERIAL KEY**
1. Aluminium PPC Cladding Panel RAL 7035 - Light Grey
 2. Curtain Panel Frame RAL 7045 - Telegrey
 3. Glazed Curtain Wall Window
 4. Lighting Channel RAL 5021 - Water Blue
 5. Roller shutter door RAL 7035 - Light Grey
 6. Trapezoidal Cladding Panel - Dark Grey
 7. Pedestrian access door RAL 7035 - Light Grey
 8. Reception Canopy RAL 2011 - Deep Orange
 9. Capping Profile RAL 7035 - Light Grey
 10. Curtain Panel Frame RAL 2011 - Deep Orange
 11. Curtain Panel Frame RAL 5021 - Water Blue

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Project Name: **Attic New Southgate**
New Southgate Industrial Estate, Lower Park Rd, New Southgate, N11 1QD

Drawing Title: **Proposed Attic Elevations North & West**

Drawing Status: **PLANNING**

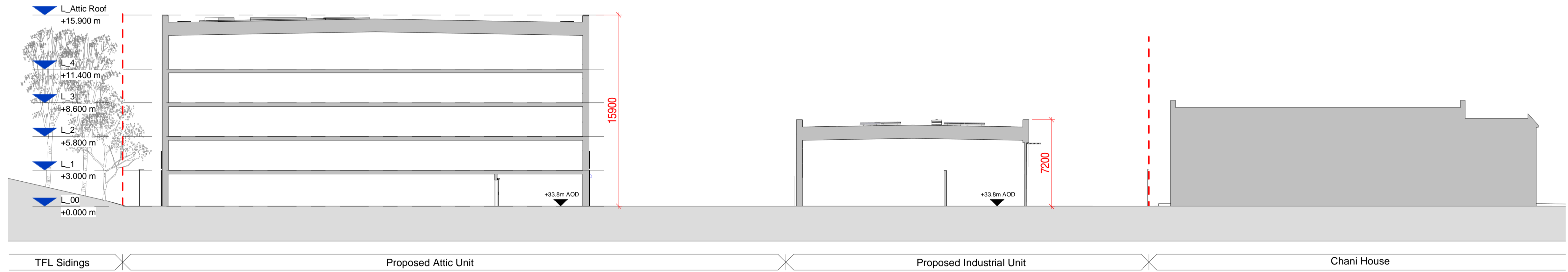
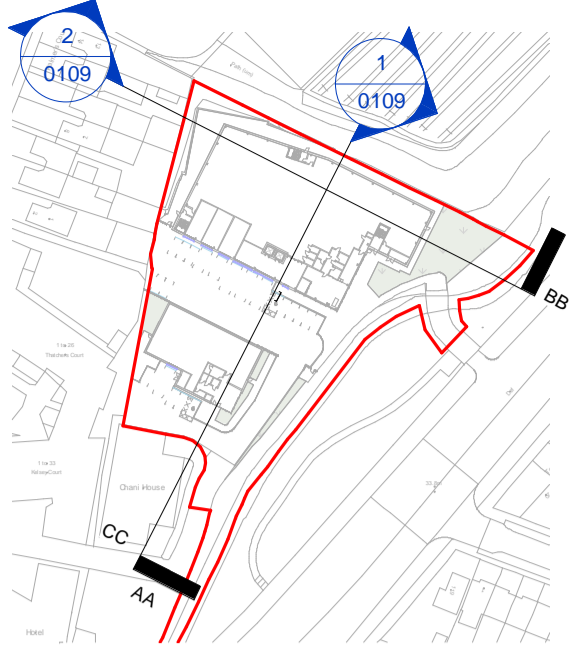
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Drawn By	Drawn Date	Checked By	Scale @ A1
VS	30/03/22	JS	As indicated

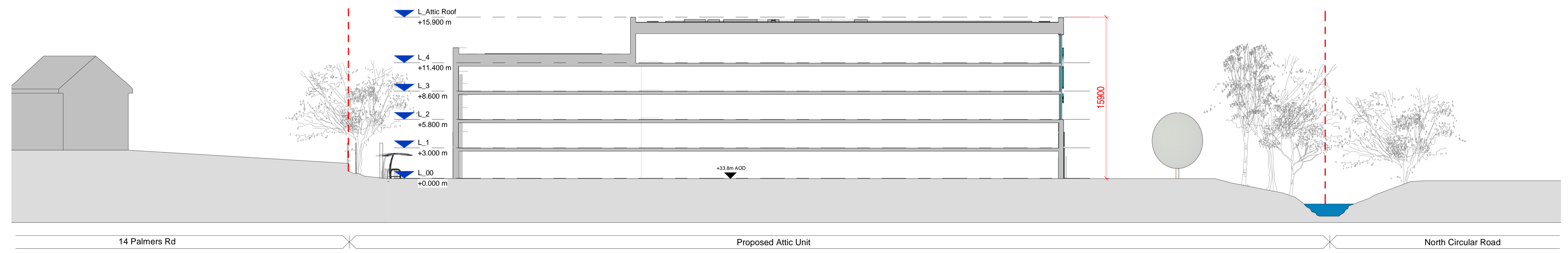
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3828-DMWR-A-PL-0108		/



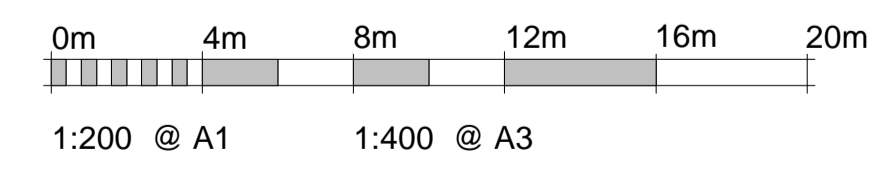
2 Proposed Attic North Elevation
1:100



1 Proposed Attic Section AA
1 : 200



2 Proposed Attic Section BB
1 : 200



Rev	Date	Version Description	Dm	Chk
1	08/07/22	Planning Issue	CC	JS

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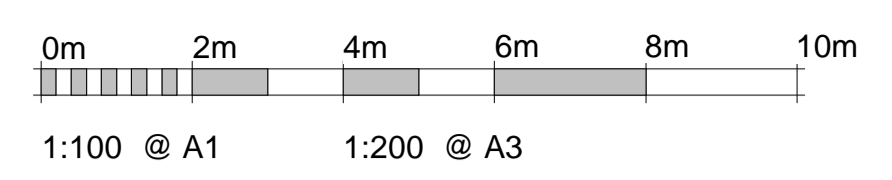
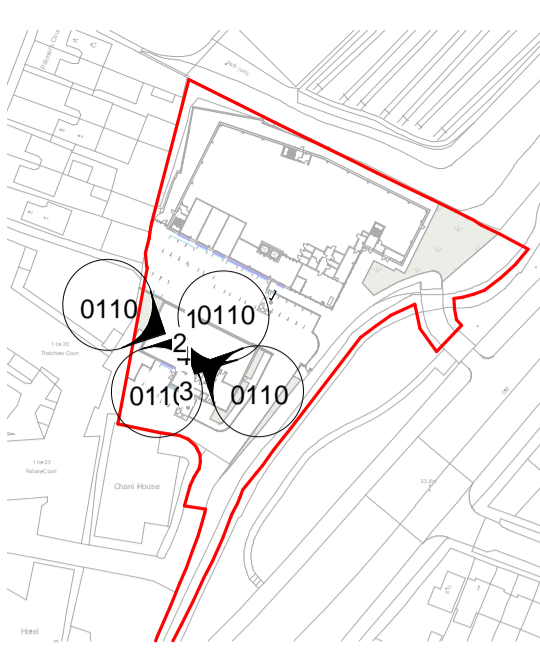


Client
ATTIC SELF STORAGE

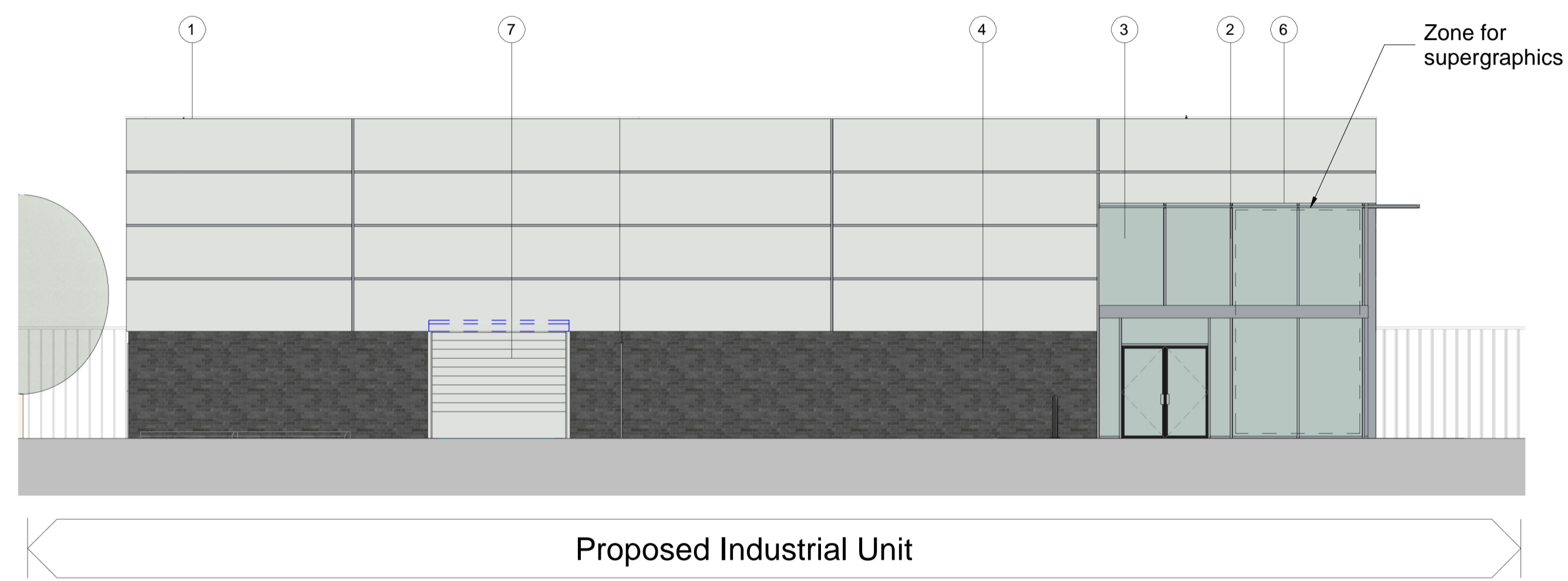
Project Name
Attic New Southgate
New Southgate Industrial Estate, Lower Park Rd, New Southgate, N11 1QD

Drawing Title
Proposed Attic Self Storage Sections

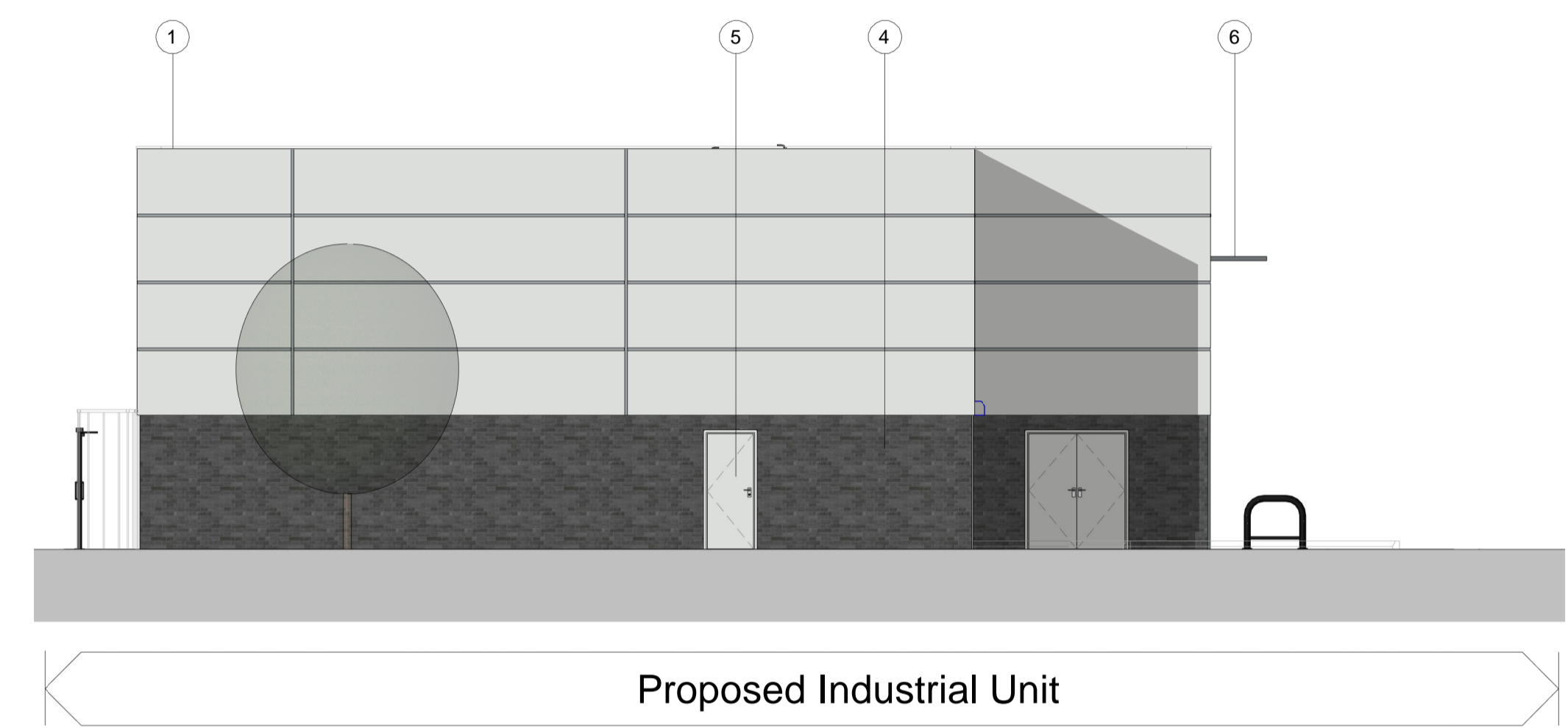
Drawing Details			North
Drawing Status PLANNING			 DMWR Job No. 3828
Drawn By VS	Drawn Date 30/03/22	Checked By JS	
Drawing Number 3828-DMWR-A-PL-0109			Status Revision P /



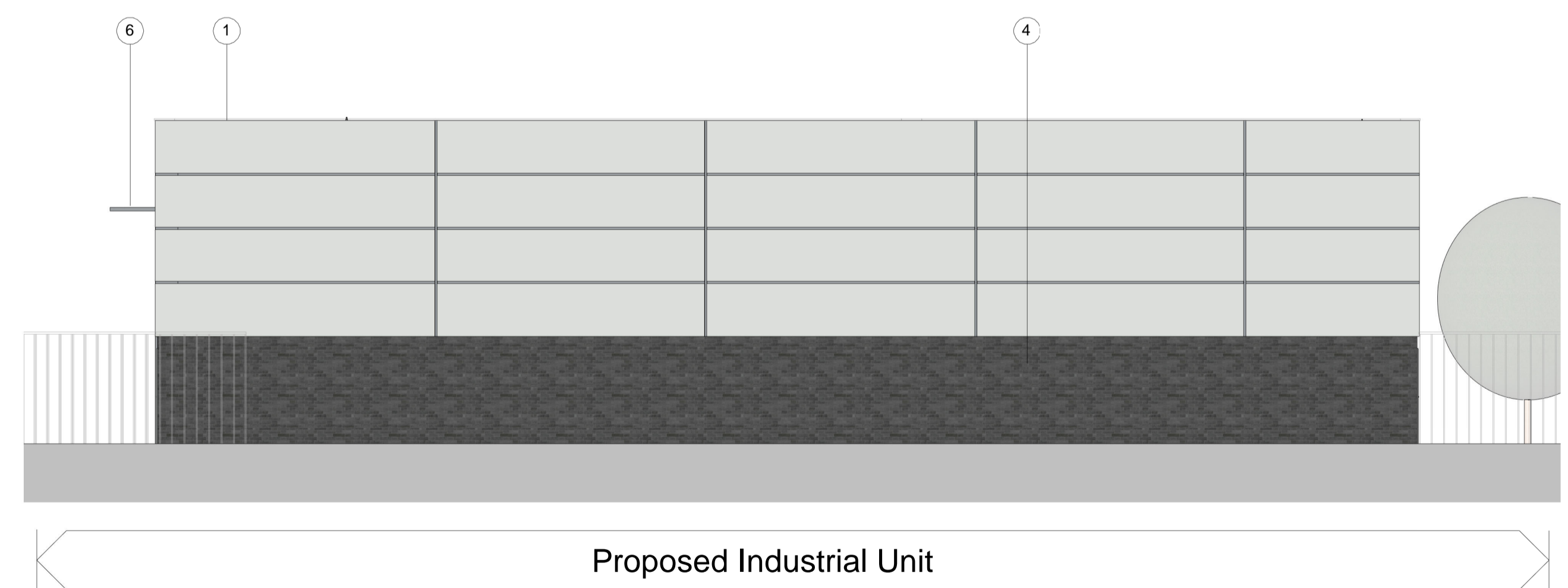
Rev	Date	Version Description	Dim	Chk
/	08/07/22	Planning Issue	CC	JS



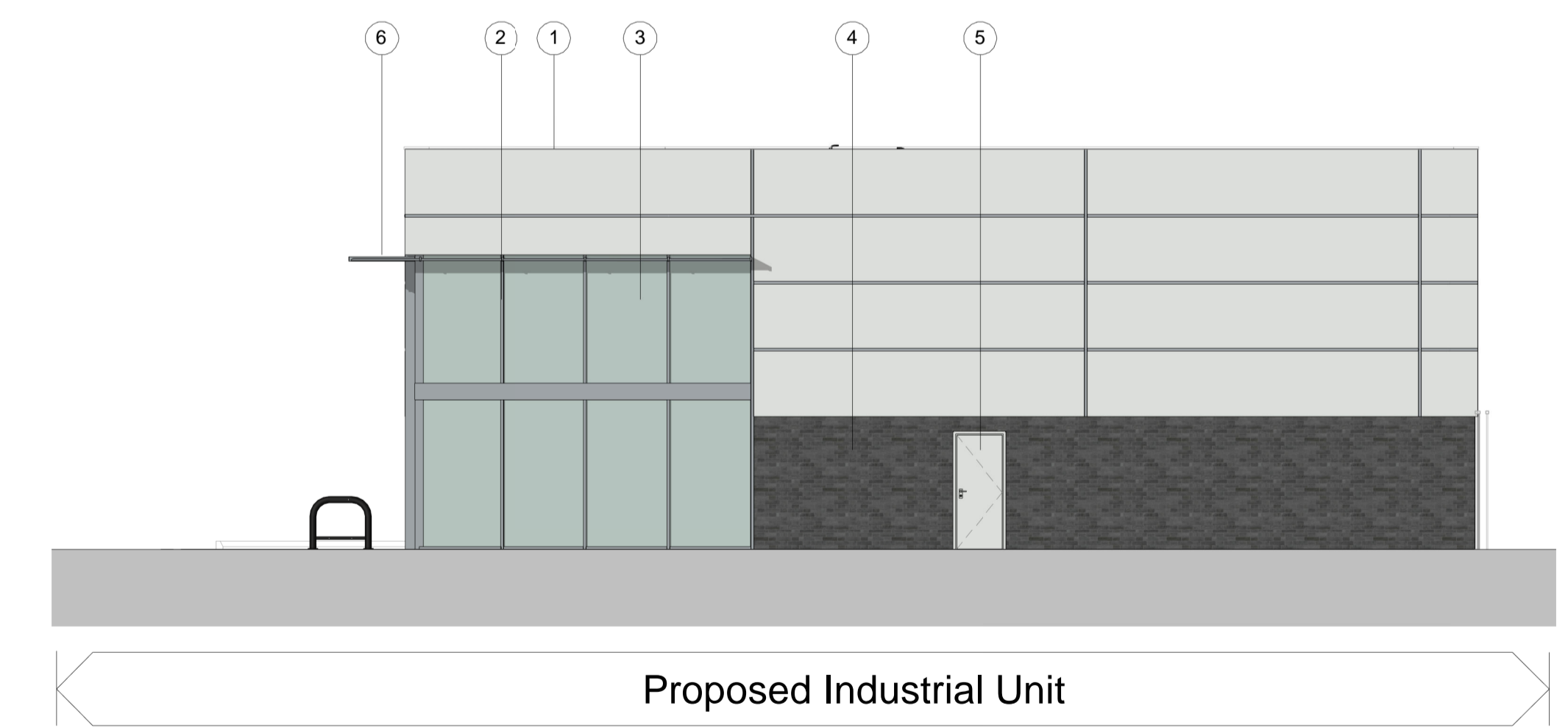
1 Proposed Industrial South Elevation
1 : 100



2 Proposed Industrial West Elevation
1 : 100



3 Proposed Industrial North Elevation
1 : 100



4 Proposed Industrial East Elevation
1 : 100

- PROPOSED MATERIAL KEY**
1. Aluminium PPC Cladding Panel RAL 7035 - Light Grey
 2. Curtain Panel Frame RAL 7045 - Telegrey
 3. Glazed Curtain Wall Window
 4. Dark Brick
 5. Pedestrian access door RAL 7035 - Light Grey
 6. Reception Solar Shading
 7. Roller shutter door RAL 7035 - Light Grey

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Project Name: **Attic New Southgate**
New Southgate Industrial Estate, Lower Park Rd, New Southgate, N11 1QD

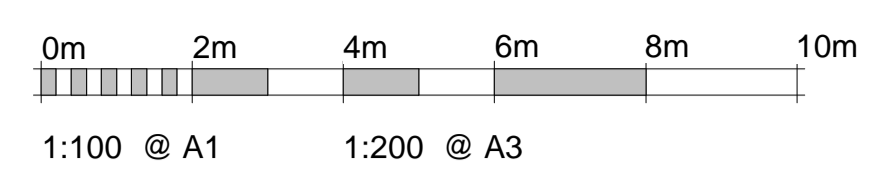
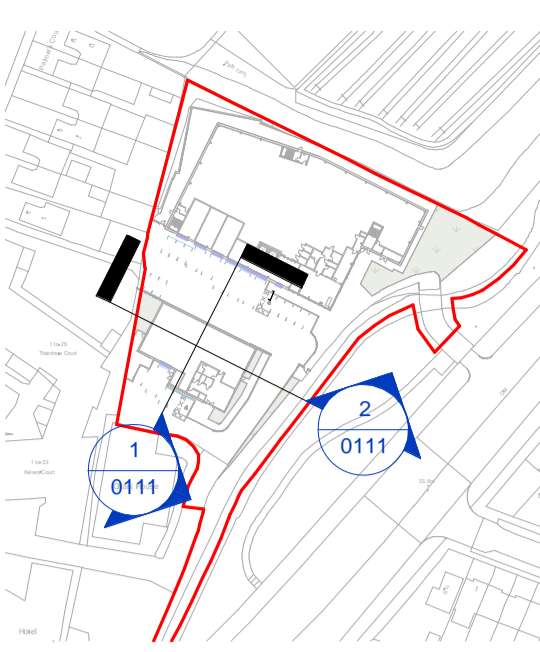
Drawing Title: **Proposed Industrial Elevations**

Drawing Status: **PLANNING**

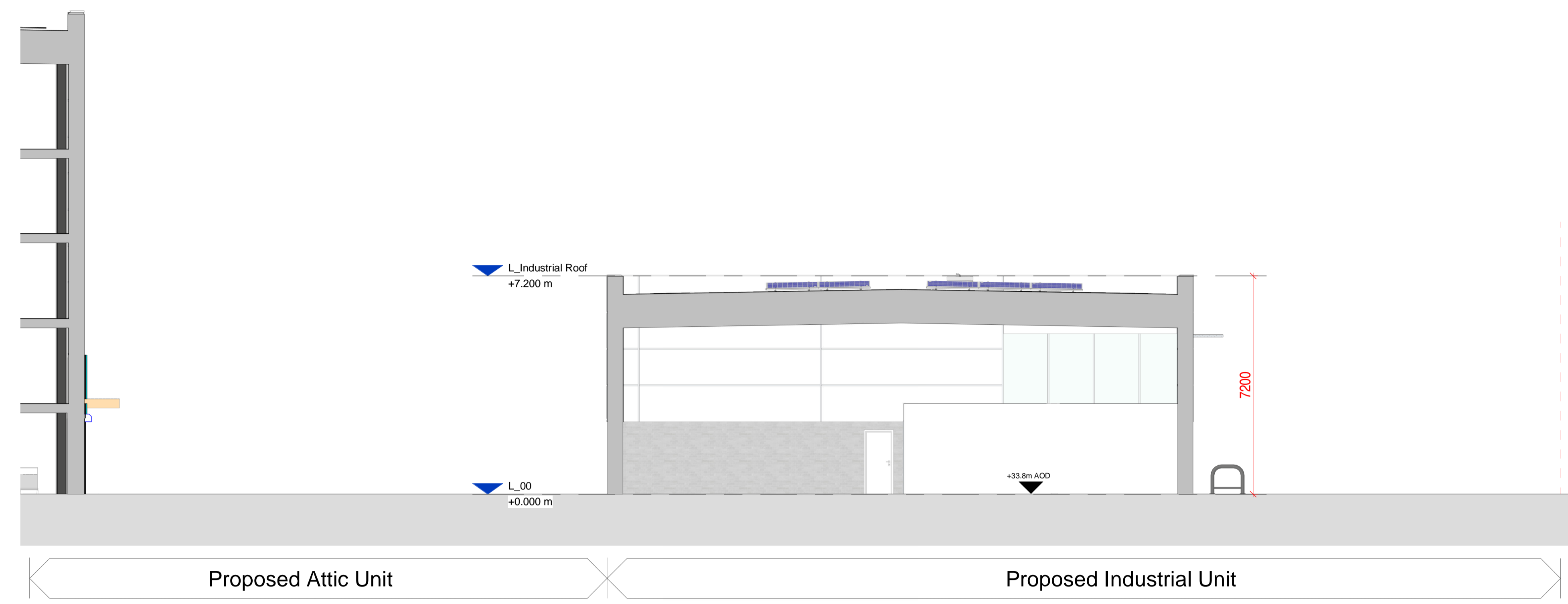
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Drawn By: VS	Drawn Date: 12/04/22	Checked By: Checker	Scale @ A1: As indicated
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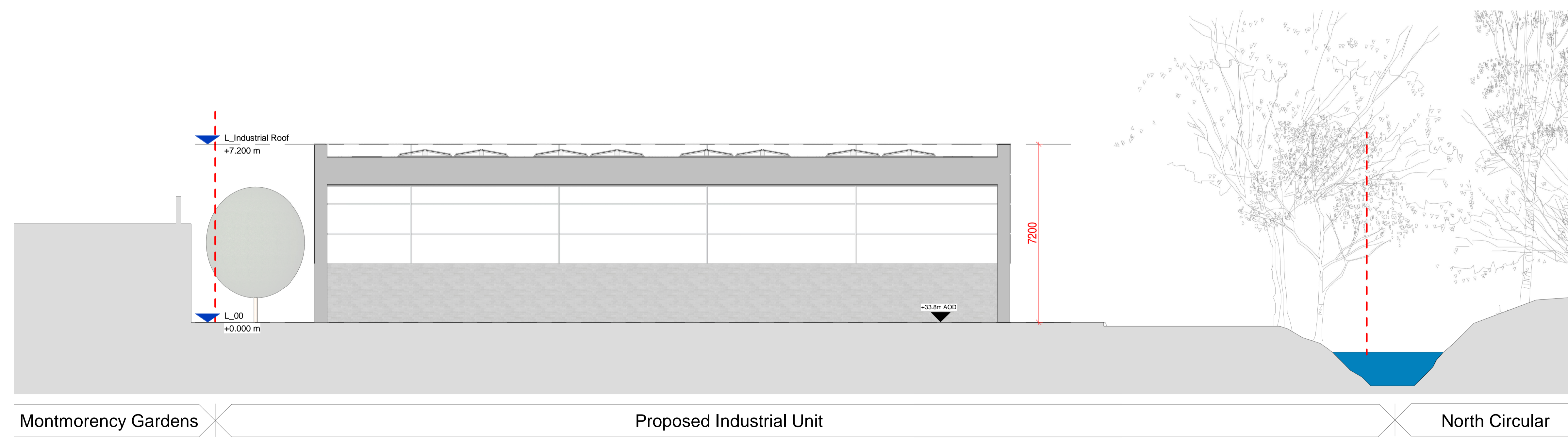
Drawing Number: 3828-DWMR-A-PL-0110	Status: P	Revision: /
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Rev	Date	Version Description	Drn	Chk
/	08/07/22	Planning Issue	CC	JS



1 Proposed Industrial Unit Section BB
1 : 100



2 Proposed Industrial Unit Section AA
1 : 100

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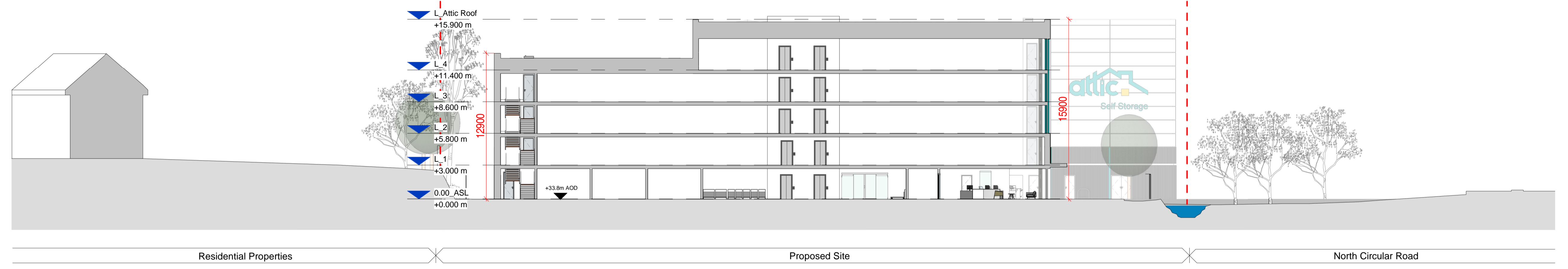
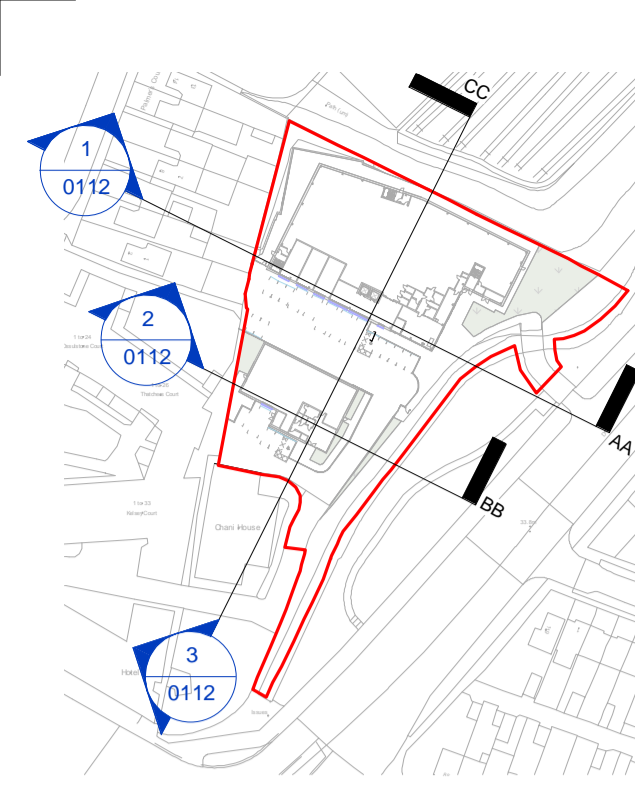
Drawing Title: **Proposed Industrial Sections**

Drawing Status: **PRELIMINARY**

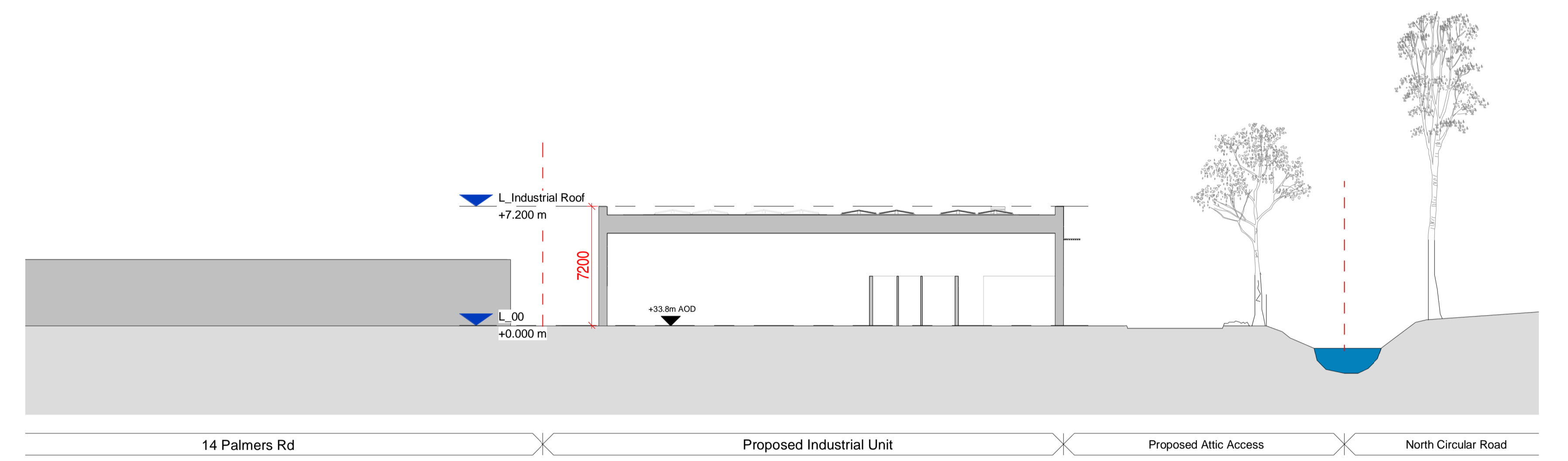
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Drawn By: VS	Drawn Date: 12/04/22	Checked By: Checker	Scale @ A1: As indicated
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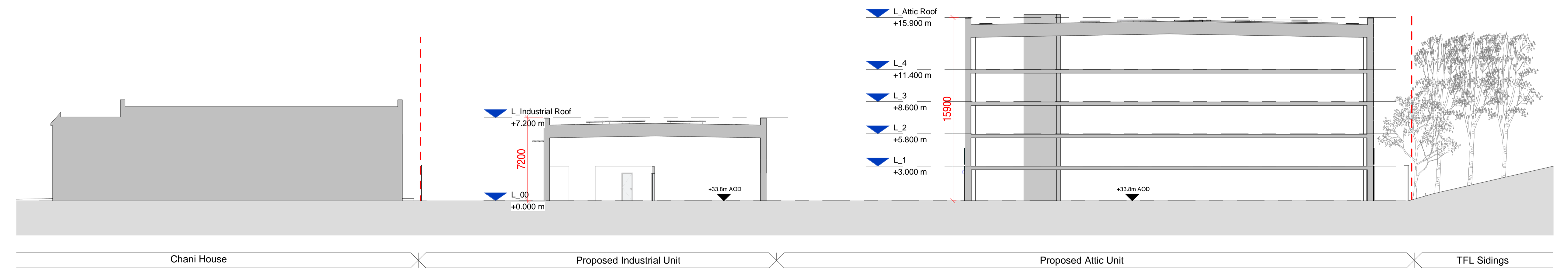
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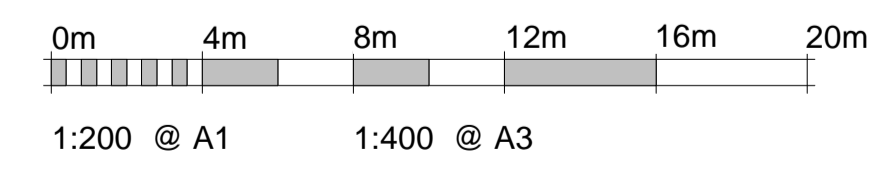
1 Site Section A-A
1 : 200



2 Site Section B-B
1 : 200



3 Site Section CC
1 : 200



Rev	Date	Version Description	Dm	Chk
1	08/07/22	Planning Issue	CC	JS

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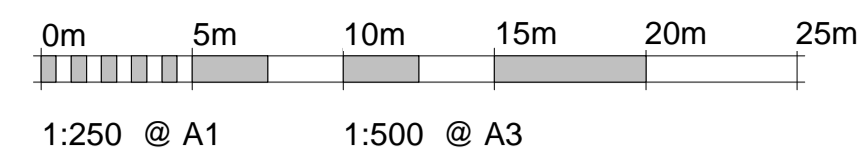
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Client
ATTIC SELF STORAGE

Project Name
Attic New Southgate
New Southgate Industrial Estate, Lower Park Rd, New Southgate, N11 1QD

Drawing Title
Proposed Site Sections

Drawing Details			North
Drawing Status			 DMWR Job No. 3828
PLANNING			
Drawn By	Drawn Date	Checked By	Scale @ A1
VS	08/06/22	JS	As indicated
Drawing Number			Status / Revision
3828-DMWR-A-PL-0112			P /



Rev	Date	Version Description	Drn	Chk
/	08/07/22	Planning Issue	CC	JS

- Boundary Key**
- Existing fenceline retained
 - New 2.5m tall metal mesh fencing in RAL 7045 - Telegrey

1.2m wide pedestrian access gates with metal mesh fencing

Sliding vehicle access gate

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Client: **ATTIC SELF STORAGE**
 Project Name: **Attic New Southgate**
 New Southgate Industrial Estate, Lower Park Rd, New Southgate, N11 1QD

Drawing Title: **Proposed Boundary Treatment Plan**

Drawing Status: **PLANNING**

Drawing Details: DMWR Job No. **3828**

Drawn By: CC	Drawn Date: 07/07/22	Checked By: JS	Scale @ A1: As indicated
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Drawing Number: 3828-DMWR-A-PL-0113	Status: P	Revision: /
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IMPLEMENTATION AND MAINTENANCE GUIDELINES

- 10 **GENERAL**

All plants shall conform to BS 3938 and be in accordance with the National Plant Specification. Supplying nurseries shall be registered under the NIA Nursery Certification Scheme. All plants shall be packed and transported in accordance with the Code of Practice for Plant Handling as produced by CPRE. Planting shall not be carried out when the ground is waterlogged, frostbound or during periods of cold drying winds. All bare root stock shall be root dipped in an approved water-retaining polymer.

If the formation level is compacted it should be ripped through before topsoiling. Topsoil depths to be 450mm for shrub beds and 150mm for grass areas. And 150mm minimum for grass areas increase to 300mm minimum if required by the site contamination remediation plan.
- 20 **ORNAMENTAL SHRUBS AND TREES**
- 21 **Ground Preparation**

Where necessary treat existing weeds with a glyphosate based herbicide and allow a suitable period as recommended by the manufacturer for this to take effect. A general purpose slow release fertiliser at the rate of 75g/m² and Tree Planting and Mulching Compost at the rate of 20kg/m² are to be incorporated into the top 150mm of topsoil during final cultivations. All extraneous matter such as plastic, wood, metal and stones greater than 50mm in any dimension shall be removed from site.

Tree pits are to be excavated and the base broken up a further 150mm with the sides well scarified to prevent smearing. All trees up to and including selected standards are to be supported with single 75mm diameter stakes. All rootball, container grown and trees over heavy standard size shall be double staked. Any feature trees semi mature in size to be secured with a below ground anchoring system (such as a deadman anchor). Stakes should be driven 500mm into undisturbed ground before planting the tree, taking care to avoid underground services and cables etc.
- 22 **Planting**

Shrubs and hedges are to be set out as shown on the drawing and pit planted into the prepared soil at the specified centres with minimal disturbance to the rootball and well levelled.

Trees are to be placed into the pits and backfilled with topsoil incorporating slow release fertiliser and Tree Planting and Mulching Compost as specified. Firm trees in well and secure with proprietary rubber tree ties and spacers.

Water in all trees and shrubs at the end of each day of planting.

Spread ornamental pine bark mulch to a depth of 75mm across all new planting areas ensuring groundcover plants are not buried.
- 23 **Maintenance**

The landscape contractor shall maintain all areas of new planting for a period of 12 months following practical completion. All stock deemed to be dead, dying or diseased within the defects period shall be replaced by the contractor at his own cost.

The site is to be visited monthly throughout the year to undertake the following operations:

 - **Weed clearance:** All planting areas are to be kept weed free by hand weeding or herbicide treatment.
 - **Litter clearance:** All litter is to be removed from planting beds.
 - **Watering:** Planting areas are to be kept up to field capacity at each visit and each tree is to receive 20 gallons.
 - **Checking stakes:** All tree ties and stakes are to be checked and adjusted if too loose, too tight or if chaffing is occurring. Any broken stakes are to be replaced.
 - **Formative pruning:** Any damaged shoots/branches are to be pruned back to healthy wood. Plants are to be pruned in accordance with good horticultural practice to maintain healthy well-shaped specimens.

or for pit planting
A 900mm diameter circle shall be sprayed out at each planting station using an approved herbicide at least two weeks before planting.
- 30 **NATIVE SHRUB PLANTING**
- 31 **Ground Preparation**

The extent of the planting area shall be set out using 30x30x1200mm timber stakes at each change in direction and at a maximum of 50m intervals.

Either for mitch planting
All herbaceous material within the proposed planting area shall be sprayed out using an approved herbicide at least two weeks before planting and the ground shall be cultivated to a depth of 150mm.
or for pit planting
A 900mm diameter circle shall be sprayed out at each planting station using an approved herbicide at least two weeks before planting.
- 32 **Planting**

All bare rooted stock is to be root dipped in water retaining polymer. Proposed planting is to be planted on an informal grid. To avoid straight lines each planting station can be moved by up to 200mm in any direction.

Either a for shelters or for rabbit fence

 - a. All stock to be protected from rabbit damage using approved proprietary tree and shrub shelters, 900mm and 600mm high respectively, secured with stakes and ties as advised by the manufacturer.
 - b. All stock to be protected from rabbit damage by 900mm high rabbit fencing erected in accordance with the manufacturer's recommendations.
- 33 **Maintenance**

Using approved herbicides a 900mm diameter circle centred on each planting station shall be kept weed free throughout the maintenance period.

Each Autumn after planting and until handover to the adopting authority, the contractor will prepare a list of all plants which are dead, dying or diseased and will replace these during the following planting season.
- 40 **NATIVE HEDGE PLANTING**
- 41 **Setting Out**

The hedge line shall be set out using 30x30x1200 stakes in maximum 50m intervals and all herbaceous material within 400mm of the centre line shall be sprayed out using an approved herbicide at least two weeks before planting.
- 42 **Preparation**

The 800mm wide hedge line shall be cultivated to 150mm incorporating Ennorg or equal at 75g/m².
- 43 **Planting**

Plants shall be match planted in two rows 250mm apart and staggered at 200mm centres. All plants are to be protected with a 600mm proprietary shelter secured with a stake/cane and ties as recommended by the manufacturer.
- 44 **Maintenance**

Using approved herbicides a 800mm wide swardline centred on the hedge line shall be kept weed free throughout the maintenance period.

Each Autumn after planting and until handover to the adopting authority, the contractor will prepare a list of all plants which are dead, dying or diseased and will replace these plants during the following planting season.
- 50 **GRASS**
- 51 **Preparation**

The area to be turfed or seeded shall be sprayed out with a glyphosate herbicide and cultivated to a depth of 100mm removing all weeds, debris and stones over 25mm diameter. The surface shall be raked to smooth flowing contours with a fine 60k, incorporating a seed spreading fertilizer at 7g/gln².
- 52 **Delivery and Storage**

Turf shall be supplied in accordance with BS3936.

Turf shall be Medallion as supplied by Retolow. It shall be close textured and green in colour and be sufficiently fibrous to withstand handling. Turves shall be regular in shape, 300mm wide and of uniform thickness (minimum 25mm). The grass shall be closely mown and shall not exceed 25mm in height.

Turf shall be stacked in piles of up to 1 metre. It shall not be laid in frosty or waterlogged conditions and shall not be stacked in piles for more than three days.
- 53 **Turf**

Turfing operations shall be in accordance with BS 4428.

Whole turves shall be laid around the perimeter of the area to be turfed. The central area shall be laid in rows with staggered joints, with turves laid together, working from the outside inwards. Turves shall be laid with the grass side up. Any unweeded shall be made good by filling the turf and adjusting the levels. Should shrinkage occur, fine topsoil shall be brushed into the joints.
- 54 **Seeding**

Grass seed shall be sown in April during calm weather and not when the ground is frost bound or waterlogged. Seed shall be sown in two equal sowings in transverse directions at 35 g/m². After sowing the contractor shall lightly rake the seed into intimate contact with the soil.
- 55 **Initial cut**

When newly seeded and turfed areas reach 50mm they should be lightly raked and cut to a height of 30mm. All awnings shall be removed. Any bare patches shall be made good at this time. Seeded areas shall be cut for a second time when the sward reaches 50mm high.
- 60 **WILDFLOWER AND GRASSLAND MIX**
- 61 **Preparation**

Grass seed mixtures to be sourced from certified provenance seed stock. Ground surface will be cleared of weed growth either removed by hand or through the application of an approved glyphosate based herbicide. All herbicides should only be handled by certified users and in accordance with the COSHH Regulations 2002. The ground will then be sloped and raked to produce a medium loam with debris and stones over 25mm diameter removed. The surface shall be raked to smooth flowing contours with a fine to medium tith.
- 62 **Seeding**

Meadow and wildflower seed mixes shall be sown in either August - September or March - April during calm weather and not when the ground is frost bound or waterlogged. Seed shall be sown in two equal sowings in transverse directions at 4 or 5 g/m², according to supplier's recommendations. After sowing the contractor shall roll the seed into intimate contact with the soil with a ribbed Cambridge roller.
- 63 **First year maintenance**

All sward should be removed from areas prior to mowing. The following procedures should not be undertaken in adverse weather conditions or if ground conditions prevent the use of machinery without damage to the ground surface. Mow regularly throughout the first year of establishment to encourage basal growth and reduce weed competition. All awnings shall be removed or deposited in an area designated by the Contracts Manager. Any bare patches shall be made good at this time.
- 64 **Second and subsequent year maintenance**

Management of subsequent years comprises a single Autumn cut in September or October to allow plants to set seed. Awnings shall be left for a minimum of 24 hours and a maximum of 7 days before being removed or relocated to an area identified by the Contracts Manager.
- 70 **TOPSOIL**
- 71 **Soiling Topsoil**

Pre-planting herbicide application - An approved mechanical systemic herbicide at the manufacturer's instructions and to apply by suitable spraying apparatus, in accordance with the 1997 Control of Pesticides Regulations and 2003 COSHH regulations on all beds, except those which are both weed free and are to receive granular sheet mulch. Spray immediately if any weeds are present. If none are present, then there may be a delay before planting, or the area is to be seeded, spray after the first month following cultivation. To allow 60mm seed to terminate. All spraying shall be carried out by skilled and qualified operatives, using protective clothing, in suitable weather for use and any damage caused by spray drift, from incorrect usage or spillage, shall be rectified at the contractor's own cost. Repeat as necessary to ensure complete kill and rake off all dead material from site.

Carry out the following works to the existing topsoil on site to ensure it conforms to BS 3882:2015, being free from rocks larger than 50mm diameter, concrete, all roots, wire, brick, and have less than 20% clay. Allow for pre application of herbicide as above. Fertilize with 100g per meter square of Vitax 'Nutricote 180' slow release fertilizer, in accordance with the manufacturer's instructions to wet beds less than 5 metres in width. For beds less than 5 metres in width, break up to a depth of 300mm, ensuring that the subgrade and topsoil are completely broken up and free draining, retaining any compaction. For beds greater than 5 metres in width, break up the subgrade and topsoil using a tractor mounted subsoiler or ripper at 300mm centres to a depth of 500mm, except where there are services, or within 10 metres of tree stems or 3 metres of existing hedges. Do not rip areas where roots greater than 100mm diameter are encountered.
- 72 **Imported Topsoil**

Any imported topsoil for making up ground, shall conform to BS 3882:2015, and be free from rocks (over 50mm diameter), concrete, roots, wire and brick, and have less than 20% clay.
- 80 **SEDUM ROOF SYSTEM**
- 81 **Maintenance & Management**

Maintenance and management regimes for sedum roof system to be based on selected green roof supplier's maintenance brochures and (Ro) Green Roof Code (Annexary Edition 2021).
- 62 **Irrigation**

Irrigation is subject to BREEM assessment type. Note: For avoidance of doubt with a Simple building assessment there will be no permanent system. The Main Contractor to install Sedum blanket / Vegetation a minimum of 10 weeks prior to handover and allow for a temporary irrigation until handover.

KEY

- Site boundary**
- Existing waterbody**
- Existing vegetation to be retained**
Dashed lines indicate RPA. Refer to LANDARB SOLUTIONS' Tree Retention and Protection Plan for details (ref: LAS 367).
- Existing vegetation to be removed**
Refer to LANDARB SOLUTIONS' Tree Retention and Protection Plan for details (ref: LAS 367).
- Existing scrubs**
Existing scrubs to be retained and enhanced with Shrub Mix A listed on the Plant Schedule where necessary.
- Soft Landscape Proposals**
Refer to plant schedule for details.
- Attic Self Storage logo on sedum roof**
Attic Self Storage logo to be defined with 100mm high Aluminium edging infilled with 40mm white and orange pebbles subject to the confirmation of the client.
- Root barriers**
Root barriers to hardsurfaced areas and services within 3m of tree planting, ReRoot 1000 as supplied by Green Blue Urban or similar approved. Exact location and specification subject to reviewed by project engineer and to be agreed with the site engineer.

PLANT SCHEDULE

PROPOSED TREES	ABBR	SPECIES	COMMON NAME	SUPPLY HEIGHT [CM]	BIRTH QTY (No.)
	ALGD	Alnus glutinosa	Common Alder	EHS1d 350-425cm	14-16cm 3
	CARBET	Corpinus betulus	Common Hornbeam	EHS1d 350-425cm	14-16cm 2
	LIGJA	Ligustrum japonicum	Wax-leaf Privet	EHS1d 350-425cm	14-16cm 1
	PRPW	Prunus padus 'Watereri'	Bird Cherry 'Watereri'	AHS1d 400-450cm	16-18cm 1

PROPOSED CONIFERS	ABBR	SPECIES	COMMON NAME	SUPPLY HEIGHT [CM]	GIRTH QTY (No.)
	PINSY	Pinus sylvestris	Scotch pine	70-90L 175-200cm	1

PROPOSED SHRUBS	ABBR	SPECIES	SUPPLY HEIGHT [CM]	HABIT	CENTRES [M]	QTY (No.)
	PHOUJ	Phorium 'Jester'	25L	80-100cm	Triple Crown	Counted 3

PROPOSED HEDGEROWS	ABBR	SPECIES	SUPPLY HEIGHT [CM]	HABIT	CENTRES [M]	QTY (No.)
	BUXSE	Buxus sempervirens	10L	60-80cm	Bushy	0.5Ctr 22
	LIGVU	Ligustrum vulgare	5L	90-120cm	Bushy	0.5Ctr 4

PROPOSED INDIVIDUAL SHRUBS	ABBR	SPECIES	SUPPLY HEIGHT [CM]	HABIT	CENTRES [M]	QTY (No.)
	CHOTES	Choisya ternata 'Sundance'	10L	40-60cm	Bushy	0.7Ctr 5
	EUFOE	Euonymus fortunei 'Emerald Gaiety'	10L	30-40cm	Bushy	0.65Ctr 10
	HEBWM	Hebe 'Mrs Winder'	10L	30-40cm	Bushy	0.65Ctr 4
	LAVANH	Lavandula angustifolia 'Hidcote'	10L	60-80cm	Bushy	0.7Ctr 8

PROPOSED ORNAMENTAL SHRUB MIXES	MIX NAME	ABBR	SPECIES	SUPPLY HEIGHT [CM]	HABIT	CENTRES [M]	QTY (No.)	PLANT TO FRONT	
	LOW MIX 1	BRASEN	Brachyglottis 'Sunshine'	10L	40-60cm	Bushy	0.65Ctr	7	Yes
	LOW MIX 1	EUFOENG	Euonymus fortunei 'Emerald n' Gold'	10L	30-40cm	Bushy	0.65Ctr	7	Yes
	LOW MIX 1	HEBPIS	Hebe pinguiifolia 'Sutherlandii'	10L	30-40cm	Bushy	0.65Ctr	7	Yes
	LOW MIX 1	LOWNMG	Lonicera nitida 'May Green'	10L	40-60cm	Bushy	0.65Ctr	7	Yes
	MED MIX A	10L CHOTES	Choisya ternata 'Sundance'	10L	40-60cm	Bushy	0.7Ctr	6	
	MED MIX A	10L HEBMB	Hebe 'Midsummer Beauty'	10L	30-40cm	Bushy	0.7Ctr	6	
	MED MIX A	10L HYPHI	Hyphicium 'Hidcote'	10L	40-60cm	Bushy	0.7Ctr	6	
	MED MIX A	10L PRULAOL	Prunus laurocerasus 'Otto Luyken'	10L	60-80cm	Bushy	0.7Ctr	6	

PROPOSED NATIVE MIXED HEDGEROWS / INFILL MIXES	MIX NAME	ABBR	SPECIES	SUPPLY HEIGHT [CM]	CENTRES [M]	MIX %	QTY (No.)
	NATIVE HEDGEROW MIX 7	ILAQ	Ilex aquifolium	3L	60-80cm	0.5Ctr	40% 49
	NATIVE HEDGEROW MIX 7	LIGVU	Ligustrum vulgare	3L	90-120cm	0.5Ctr	60% 73

PROPOSED SEMI-ORNAMENTAL MIXES	MIX NAME	ABBR	SPECIES	SUPPLY HEIGHT [CM]	HABIT	CENTRES [M]	MIX %	QTY (No.)	
	SHRUB MIX A	CRAMON	Crotogonus monogyna	24ft/1d 150-175cm	Feathered	0.8Ctr	30%	176	
	SHRUB MIX A	EUOEPS	Euonymus europaeus	T1+1	80-100cm	Transplant	0.8Ctr	5%	30
	SHRUB MIX A	LIGVU	Ligustrum vulgare	T1+1	80-100cm	Transplant	0.8Ctr	10%	60
	SHRUB MIX A	RBA	Rubus 'Betty Ashburner'	3L	20-30cm	Bushy	0.8Ctr	5%	30
	SHRUB MIX A	ROSCA	Rosa canina	T1+1	80-100cm	Transplant	0.8Ctr	20%	118
	SHRUB MIX A	VIBOP	Viburnum opulus	T1+1	80-100cm	Transplant	0.8Ctr	25%	146
	SHRUB MIX A	VIMI	Vinca minor	3L	20-30cm	Bushy	0.8Ctr	5%	30

PROPOSED MARGINAL PLANTING	MIX NAME	ABBR	SPECIES	SUPPLY	HABIT	CENTRES [M]	MIX %	QTY (No.)
	MARGINAL MIX 4	CAMLG	Campanula glomerata	2L	Full pot	0.5Ctr	15%	12
	MARGINAL MIX 4	CAREN	Carex pendula	2L	Full pot	0.5Ctr	30%	24
	MARGINAL MIX 4	CORSA	Cornus sanguinea	3L	Bushy	0.5Ctr	40%	31
	MARGINAL MIX 4	DESCEG	Deschampsia cespitosa 'Goldtau'	2L	Full pot	0.5Ctr	15%	12

PROPOSED BULBS	MIX NAME	ABBR	SPECIES	COMMON NAME	HABIT	CENTRES [M]	MIX %	AREA	QTY (No.)
	BULB MIX A	CROGY	Crocus 'Golden Yellow'	Dutch Crocus	Bulb	10/m ²	16.6%	2,2074m ²	23
	BULB MIX A	CROJDA	Crocus 'Jeanne D' Arc'	Dutch Crocus	Bulb	10/m ²	16.6%	2,2074m ²	23
	BULB MIX A	CROOB	Crocus 'Queen of the Blues'	Dutch Crocus	Bulb	10/m ²	16.6%	2,234m ²	23
	BULB MIX A	NARCA	Narcissus 'Canaliculatus'	Dwarf Daffodil	Bulb	10/m ²	16.6%	2,234m ²	23
	BULB MIX A	NARFG	Narcissus 'February Gold'	Dwarf Daffodil	Bulb	10/m ²	16.6%	2,2074m ²	23
	BULB MIX A	NARJF	Narcissus 'Jet Fire'	Dwarf Daffodil	Bulb	10/m ²	16.6%	2,2074m ²	23
									Total: 13,2973m ²

PROPOSED LAWN TURF (for similar approval)	MIX NAME	SEED MIX SUPPLIER	AREA	DENSITY
	Medallion Turf	Retolow Limited	170.431m ²	

PROPOSED WILDFLOWER MEADOW (for similar approval)	MIX NAME	SEED MIX SUPPLIER	AREA	DENSITY
	EM3 - Special Gen. Purpose Meadow	Emorsgate Seeds	111,5224m ²	4g/m ²

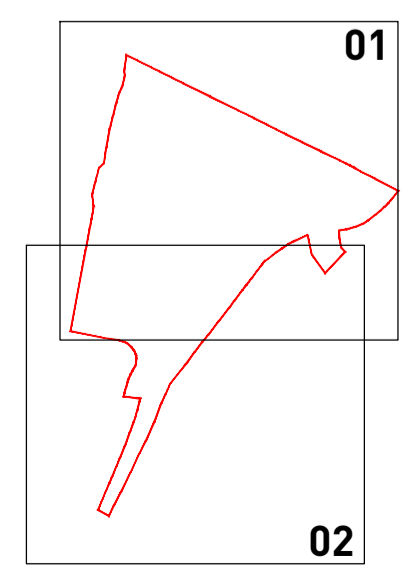
PROPOSED WETLAND WILDFLOWER MEADOW (for similar approval)	MIX NAME	SEED MIX SUPPLIER	AREA	DENSITY
	EM8 - Meadow Mix for Wetlands	Emorsgate Seeds	64,8402m ²	4g/m ²

SEDUM ROOF SYSTEMS (671,402 m ²)	Sedum blanket	lining roof system	supplied by	Sky Garden or similar approved
	Substrate to be minimum settled depth of 80m	for 60m	beneath vegetation blanket	

NOTES

All trees, feature shrubs, climbers, shrubs and hedges to be planted in accordance with the implementation and maintenance guidelines. All landscape proposals must be referred to by the Structural Engineer during foundation design. No tree, feature shrub, climber, shrub and hedge species, size or location should be altered without prior approval from the Landscape Architect.

- Individual shrub/feature shrub/grass species to be planted in groups of 3-7.
- Individual species within ornamental shrub mixes to be planted in groups of 5-9.
- Lower growing species within ornamental and semi-ornamental shrub mixes to be planted at the front of the shrub bed as indicated.
- Individual bulb species to alternate every 2 linear metres.
- Native hedgerow shrubs to be supplied as bare root stock unless stated.
- Hedgerow shrubs to be planted within a 80cm wide bed and mulched.
- Any native hedgerow shrubs, to be planted on a double staggered row, 250mm apart with no less than 4 per linear metre within a 50cm wide bed in accordance with implementation and maintenance guidelines. Any feathered stock to have a straight central stem (minimum) with evenly spaced and balanced lateral growth the full length of the stem. If feathered hedgerow stock is proposed, shrubs are to be attached to a double line support line for feathered stock at 1m high and one for transplant stock at 60cm high force using an approved clip tie and cut back to 1.2m in height at time of planting.
- Find marginal planting to be sourced from certified local provenance plant stock.
- Siting operations to be carried out in accordance with the implementation and maintenance guidelines.
- All planting to be in accordance with the implementation and maintenance guidelines.
- No species, variety, size or position to be amended without the Landscape Architects prior approval.
- Different trees are planted, the Landscape Contractor shall ascertain the location of drains from the site manager, and shall if necessary make minor adjustments to tree positions to ensure that they are planted at least 1.5m from drains. They should however be planted no closer to hoses/pipes than is shown on the drawing, and if shown located in shrub beds, the shape of the latter should be adjusted to accommodate the necessary tree position.
- All planting must be mulched in accordance with the implementation and maintenance guidelines.
- If planting is required outside the October-March window, bare root shrubs will be replaced by a containerised equivalent to be approved by the project landscape architect.



SHEET LOCATION PLAN
NTS

B-17/02/2023 WMI Updated to design team comments.
A-10/07/2022 WMI Updated to the latest site layout and design team comments.
Revisions:

FOR PLANNING
Alexander Place, Lower Park Road, Southgate
Detailed Soft Landscape Proposals (sheet 1 of 2)
Drawing Ref: P21-2977_02-B
Client: Loft Land Holdings Ltd

Date : 21/06/2022
Drawn by : WM
Checked by : WM
Scale : 1 : 250 @ A1



IMPLEMENTATION AND MAINTENANCE GUIDELINES

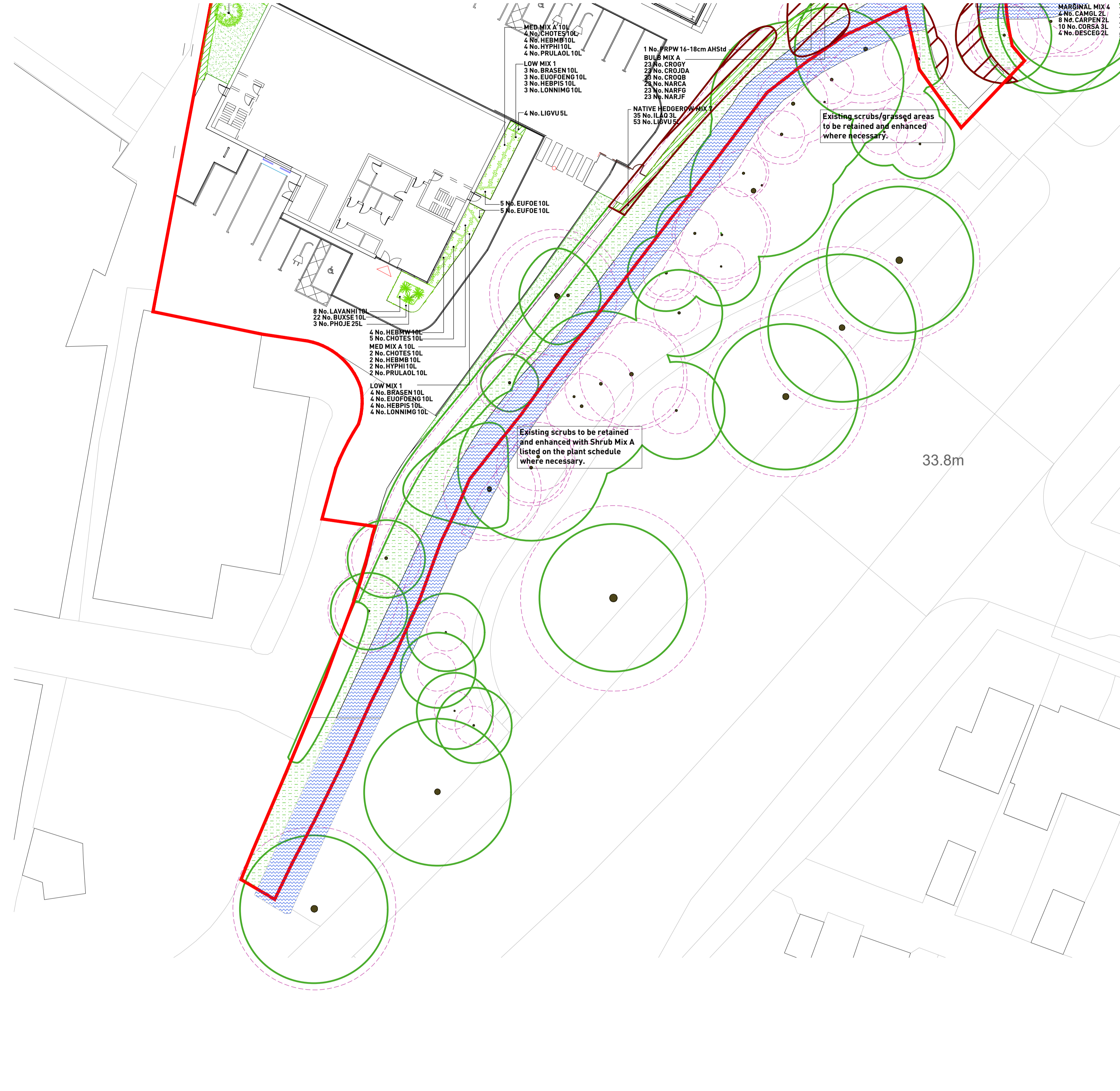
- 10 GENERAL**
- All plants shall conform to BS 3938 and be in accordance with the National Plant Specification. Supplying nurseries shall be registered under the NFA Nursery Certification Scheme. All plants shall be packed and transported in accordance with the Code of Practice for Plant Handling as produced by CPRE. Planting shall not be carried out when the ground is waterlogged, frostbound or during periods of cold drying winds. All bare root stock shall be root dipped in an approved water-retaining polymer.
- If the formation level is compacted it should be ripped through before topsoiling. Topsoil depths to be 450mm for shrub beds and 150mm for grass areas. And 150mm minimum for grass areas increase to 300mm minimum if required by the site contamination remediation plan!
- 20 ORNAMENTAL SHRUBS AND TREES**
- 21 Ground Preparation**
Where necessary treat existing weeds with a glyphosate based herbicide and allow a suitable period as recommended by the manufacturer for this to take effect. A general purpose slow release fertilizer at the rate of 75g/m² and Tree Planting and Mulching Compost at the rate of 20kg/m² are to be incorporated into the top 150mm of topsoil during final cultivations. All extensive material such as plastic, weed, metal and stones greater than 50mm in any dimension shall be removed from site.
- Tree pits are to be excavated and the base broken up a further 150mm with the sides well scarified to prevent smearing. All trees up to and including selected standards are to be supported with single 75mm diameter stakes. All rootball, container grown and trees over heavy standard size shall be double staked. Any feature trees semi mature in size to be secured with a below ground anchoring system (such as a deadman anchor). Stakes should be driven 500mm into undisturbed ground before planting the tree, taking care to avoid underground services and cables etc.
- 22 Planting**
Shrubs and hedges are to be set out as shown on the drawing and pit planted into the prepared soil at the specified centres with minimum disturbance to the rootball and well firmed.
- Trees are to be placed into the pits and backfilled with topsoil incorporating slow release fertilizer and Tree Planting and Mulching Compost as specified. Firm trees in well and secure with proprietary rubber tree ties and spacers.
- Water in all trees and shrubs at the end of each day of planting.
- Spread ornamental pine bark mulch to a depth of 75mm across all new planting areas ensuring groundcover plants are not buried.
- 23 Maintenance**
The landscape contractor shall maintain all areas of new planting for a period of 12 months following practical completion. All stock deemed to be dead, dying or diseased within the defects period shall be replaced by the contractor at his own cost.
- The site is to be visited monthly throughout the year to undertake the following operations:
- **Weed clearance:** All plants to be kept weed free by hand weeding or herbicide treatment.
- **Litter clearance:** All litter is to be removed from planting beds.
- **Watering:** Plants are to be kept up to full height up to field capacity at each visit and each tree is to receive 20 gallons.
- **Checking stakes:** All tree ties and stakes are to be checked and adjusted if too loose, too tight or if chaffing is occurring. Any broken stakes are to be replaced.
- **Formative pruning:** Any damaged shoots/branches are to be pruned back to healthy wood. Plants are to be pruned in accordance with horticultural practice to maintain healthy well shaped specimens.
- or for pit planting
A 900mm diameter circle shall be sprayed out at each planting station using an approved herbicide at least two weeks before planting.
- 30 NATIVE SHRUB PLANTING**
- 31 Ground Preparation**
The extent of the planting area shall be set out using 30x30x1200mm timber stakes at each change in direction and at a maximum of 50m intervals.
- Either for mesh planting
All herbaceous material within the proposed planting area shall be sprayed out using an approved herbicide at least two weeks before planting and the ground shall be cultivated to a depth of 150mm.
or for pit planting
A 900mm diameter circle shall be sprayed out at each planting station using an approved herbicide at least two weeks before planting.
- 32 Planting**
All bare rooted stock is to be root dipped in water retaining polymer. Proposed planting is to be planted on an informal grid. To avoid shading each planting station can be moved by up to 200mm in any direction.
- Either a for shelters or for rabbit fence
a. All stock to be protected from rabbit damage using approved proprietary tree and shrub shelters, 900mm and 400mm high respectively, secured with stakes and ties as advised by the manufacturer.
b. All stock to be protected from rabbit damage by 900mm high rabbit fencing erected in accordance with the manufacturers recommendations.
- 33 Maintenance**
Using approved herbicides a 900mm diameter circle centered on each planting station shall be kept weed free throughout the maintenance period.
- Each Autumn after planting and until handover to the adopting authority, the contractor will prepare a list of all plants which are dead, dying or diseased and will replace these during the following planting season.
- 40 NATIVE HEDGE PLANTING**
- 41 Setting Out**
The hedge line shall be set out using 30x30x1200 stakes at maximum 50m intervals and all herbaceous material within 400mm of the centre line shall be sprayed out using an approved herbicide at least two weeks before planting.
- 42 Preparation**
The 800mm wide hedge line shall be cultivated to 150mm incorporating Enmag or equal at 75g/m².
- 43 Planting**
Plants shall be match planted in two rows 250mm apart and staggered at 200mm centres. All plants are to be protected with a 600mm proprietary shelter secured with a stake/cane and ties as recommended by the manufacturer.
- 44 Maintenance**
Using approved herbicides a 800mm wide swardline centred on the hedge line shall be kept weed free throughout the maintenance period.
- Each Autumn after planting and until handover to the adopting authority, the contractor will prepare a list of all plants which are dead, dying or diseased and will replace these during the following planting season.

- 50 GRASS**
- 51 Preparation**
The area to be turfed or seeded shall be sprayed out with a glyphosate herbicide and cultivated to a depth of 100mm removing all weeds, debris and stones over 25mm diameter. The surface shall be raked to smooth flowing contours with a fine 60th, incorporating pre-seeding fertilizer at 7g/g/m².
- 52 Delivery and Storage**
Turf shall be supplied in accordance with BS3936.
Turf shall be Medallion as supplied by Rotolaw. It shall be close textured and green in colour and be sufficiently fibrous to withstand handling. Turves shall be regular in shape, 300mm wide and of uniform thickness (minimum 25mm). The grass shall be closely mown and shall not exceed 25mm in height.
Turf shall be stacked in piles of up to 1 metre. It shall not be laid in frost or waterlogged conditions and shall not be stacked in piles for more than three days.
- 53 Turf**
Turfing operations shall be in accordance with BS 4428.
Whole turves shall be laid around the perimeter of the area to be turfed. The central area shall be laid in rows with staggered joints, well butted together, working from plants positioned on turves around the site. The turf shall be watered on completion. Any unevenness shall be made good by lifting the turf and adjusting the levels. Should shrinkage occur, fine topsoil shall be brushed into the joints.
- 54 Seeding**
Grass seed shall be sown in April during calm weather and not when the ground is frost bound or waterlogged. Seed shall be sown in two equal sowings in transverse directions at 35 g/m². After sowing the contractor shall lightly rake the seed into intimate contact with the soil.
- 55 Initial cut**
When newly seeded and turfed areas reach 50mm they should be lightly rolled and cut to a height of 30mm. All sowings shall be removed. Any bare patches shall be made good at this time. Seeded areas shall be cut for a second time when the sward reaches 50mm high.

- 60 WILDFLOWER AND GRASSLAND MIX**
- 61 Preparation**
Grass seed mixtures to be sourced from certified provenance seed stock. Ground surface will be cleared of weed growth either removed by hand or through the application of an approved glyphosate based herbicide. All herbicides should only be handled by certified users and in accordance with the COSHH Regulations 2002. The ground will then be ploughed and raked to produce a medium loam with debris and stones over 25mm diameter removed. The surface shall be raked to smooth flowing contours with a fine to medium 60th.
- 62 Seeding**
Seed and wildflower seed mixes shall be sown in either August - September or March - April during calm weather and not when the ground is frost bound or waterlogged. Seed shall be sown in two equal sowings in transverse directions at 4 or 5 g/m², according to supplier's recommendations. After sowing the contractor shall roll the seed into intimate contact with the soil with a ribbed Cambridge roller.
- 63 First year maintenance**
All litter should be removed from areas prior to mowing. The following procedures should not be undertaken in adverse weather conditions or if ground conditions prevent the use of machinery without damage to the ground surface. Mow regularly throughout the first year of establishment to encourage basal growth and reduce weed competition. All sowings shall be removed or deposited in an area designated by the Contracts Manager. Any bare patches shall be made good at this time.
- 64 Second and subsequent year maintenance**
Management of subsequent years requires a single Autumn cut in September or October to allow plants to set seed. Sowings shall be left for a minimum of 24 hours and a maximum of 7 days before being removed or relocated to an area identified by the Contracts Manager.

- 70 TOPSOIL**
- 71 Existing Topsoil**
Pre-planting herbicide application.
Apply by suitable spraying apparatus, an approved hand-applied systemic herbicide at the manufacturer's instructions and to 1997 Control of Pesticides Regulations and 2003 COSHH regulations on all beds, except those which are both weed free and are to receive granulated sheet mulch. Spray immediately if any weeds are present. If none are present, then there may be a delay before planting, or the area is to be seeded, spray after the one month following cultivation. To allow 60mm seed to terminate. All spraying shall be carried out by skilled and qualified operatives, using protective clothing, in suitable weather (no wind) and any damage caused by spray drift, from incorrect usage or spillage, shall be rectified at the contractor's own cost. Repeat as necessary to ensure complete kill and rake off all dead material from site.
- Carry out the following works to the existing topsoil on site to ensure it conforms to BS 3882:2015, being free from rocks larger than 50mm diameter, concrete, all roots, wire, brick, and have less than 20% clay. Allow for pre-application of herbicide as above. Fertilize with 100g per meter square of Vitan 'Nutricote 180' slow release fertilizer, in accordance with the manufacturer's instructions. For beds less than 5 metres in width, use a machine to break up to a depth of 300mm, ensuring that the subgrade and topsoil are completely broken up and free draining, retaining any compaction. For beds greater than 5 metres in width, break up the subgrade and topsoil using a tractor mounted subsoiler or ripper at 300mm centres to a depth of 500mm, except where there are services, or within 10 metres of tree stems or 3 metres of existing hedges. Do not rip areas where roots greater than 10mm diameter are encountered.
- 72 Imported Topsoil**
Any imported topsoil for making up ground, shall conform to BS 3882:2015, and be free from rocks (over 50mm diameter), concrete, roots, wire and brick, and have less than 20% clay.

- 80 SEDUM ROOF SYSTEM**
- 81 Maintenance & Management**
Maintenance and management regimes for sedum roof system based on selected green roof supplier's maintenance brochures and (R0) Green Roof Code (Annexary Edition 2021).
- 82 Irrigation**
Irrigation is subject to BREEM assessment type. Note: For avoidance of doubt with a Simply building assessment there will be no permanent system. The Main Contractor to install Sedum blanket / Vegetation a minimum of 10 weeks prior to handover and allow for a temporary irrigation until handover.



KEY

	Site boundary		Existing waterbody
	Existing vegetation to be retained Dashed lines indicate RPA. Refer to LANDARB SOLUTIONS' Tree Retention and Protection Plan for details (ref: LAS 367).		Soft Landscape Proposals Refer to plant schedule for details.
	Existing vegetation to be removed Refer to LANDARB SOLUTIONS' Tree Retention and Protection Plan for details (ref: LAS 367).		Attic Self Storage logo on sedum roof Attic Self Storage logo to be defined with 100mm high Aluminium edging infilled with 40mm white and orange pebbles subject to the confirmation of the client.
	Existing scrubs Existing scrubs to be retained and enhanced with Shrub Mix A listed on the Plant Schedule where necessary.		Root barriers Root barriers to hardsurfaced areas and services within 3m of tree planting, ReRoot 1000 as supplied by Green Blue Urban or similar approved. Exact location and specification subject to reviewed by project engineer and to be agreed with the site engineer.

PLANT SCHEDULE

PROPOSED TREES	ABBR	SPECIES	COMMON NAME	SUPPLY HEIGHT [CM]	BIRTH	QTY [No.]
	ALGL	Alnus glutinosa	Common alder	EHStd 350-425cm	14-16cm	3
	CARBET	Corpinus betulus	Common Hornbeam	EHStd 350-425cm	14-16cm	2
	LIGJA	Ligustrum japonicum	Wax-leaf Privet	EHStd 350-425cm	14-16cm	1
	PRPW	Prunus padus 'Watereri'	Bird Cherry 'Watereri'	AHStd 400-450cm	16-18cm	1

PROPOSED CONIFERS	ABBR	SPECIES	COMMON NAME	SUPPLY HEIGHT [CM]	GIRTH QTY [No.]
	PINSY	Pinus sylvestris	Scotch pine	70-90L 175-200cm	1

PROPOSED SPECIMEN SHRUBS	ABBR	SPECIES	SUPPLY HEIGHT [CM]	HABIT	CENTRES [M]	QTY [No.]
	PHOJE	Phormium 'Jester' Z5L	80-100cm	Triple Crown	Counted	3

PROPOSED HEDGEROWS	ABBR	SPECIES	SUPPLY HEIGHT [CM]	HABIT	CENTRES [M]	QTY [No.]
	BUXSE	Buxus sempervirens 10L	60-80cm	Bushy 0.5Ctr	22	4
	LIGVU	Ligustrum vulgare 5L	90-120cm	Bushy 0.5Ctr	4	4

PROPOSED INDIVIDUAL SHRUBS	ABBR	SPECIES	SUPPLY HEIGHT [CM]	HABIT	CENTRES [M]	QTY [No.]
	CHOTES	Choisya ternata 'Sundance'	10L 40-60cm	Bushy 0.7Ctr	5	5
	EUFOE	Euonymus fortunei 'Emerald Goleit'	10L 30-40cm	Bushy 0.65Ctr	10	1
	HEBWM	Hebe 'Mrs Winder'	10L 30-40cm	Bushy 0.65Ctr	4	4
	LAVANH	Lavandula angustifolia 'Hidcote'	10L 60-80cm	Bushy 0.7Ctr	8	8

PROPOSED ORNAMENTAL SHRUB MIXES	MIX NAME	ABBR	SPECIES	SUPPLY HEIGHT [CM]	HABIT	CENTRES [M]	QTY [No.]	PLANT TO FRONT
	LOW MIX 1	BRASEN	Brachyglottis 'Sunshine'	10L 40-60cm	Bushy 0.65Ctr	7	7	Yes
	LOW MIX 1	EUFOENG	Euonymus fortunei 'Emerald 'n' Gold'	10L 30-40cm	Bushy 0.65Ctr	7	7	Yes
	LOW MIX 1	HEBPI5	Hebe pinguiifolia 'Sutherlandii'	10L 30-40cm	Bushy 0.65Ctr	7	7	Yes
	LOW MIX 1	LOWNMIC	Lonicera nitida 'Way Green'	10L 40-60cm	Bushy 0.65Ctr	7	7	Yes
	LOW MIX 1	CHOTES	Choisya ternata 'Sundance'	10L 40-60cm	Bushy 0.7Ctr	6	6	
	LOW MIX 1	HEBMB	Hebe 'Midsummer Beauty'	10L 30-40cm	Bushy 0.7Ctr	6	6	
	LOW MIX 1	HYPHI	Hypericum 'Hidcote'	10L 40-60cm	Bushy 0.7Ctr	6	6	
	LOW MIX 1	PRULAL	Prunus laurocerasus 'Otto Luyken'	10L 60-80cm	Bushy 0.7Ctr	6	6	

PROPOSED NATIVE MIXED HEDGEROWS / INFILL MIXES	MIX NAME	ABBR	SPECIES	SUPPLY HEIGHT [CM]	CENTRES [M]	MIX %	QTY [No.]
	NATIVE HEDGEROW MIX 7	ILAQ	Ilex aquifolium 3L	60-80cm	0.5Ctr	40%	49
	NATIVE HEDGEROW MIX 7	LIGVU	Ligustrum vulgare 5L	90-120cm	0.5Ctr	60%	73

PROPOSED SEMI-ORNAMENTAL MIXES	MIX NAME	ABBR	SPECIES	SUPPLY HEIGHT [CM]	HABIT	CENTRES [M]	MIX %	QTY [No.]
	SHRUB MIX A	CRANOM	Crotonogonus monogyna	20F1hd 150-175cm	Feathered 0.8Ctr	30%	178	
	SHRUB MIX A	EUOEPS	Euonymus europaeus	T1+1 80-100cm	Transplant 0.8Ctr	5%	30	
	SHRUB MIX A	LIGVU	Ligustrum vulgare	T1+1 80-100cm	Transplant 0.8Ctr	10%	60	
	SHRUB MIX A	RBA	Rubus 'Betty Ashburner'	3L 20-30cm	Bushy 0.8Ctr	5%	30	
	SHRUB MIX A	ROSCA	Rosa canina	T1+1 80-100cm	Transplant 0.8Ctr	20%	118	
	SHRUB MIX A	VEBO	Viburnum opulus	T1+1 80-100cm	Transplant 0.8Ctr	25%	148	
	SHRUB MIX A	VMI	Vinca minor	3L 20-30cm	Bushy 0.8Ctr	5%	30	

PROPOSED MARGINAL PLANTING	MIX NAME	ABBR	SPECIES	SUPPLY	HABIT	CENTRES [M]	MIX %	QTY [No.]
	MARGINAL MIX 4	CAMLG	Campanula glomerata	2L	Full pot 0.5Ctr	15%	12	
	MARGINAL MIX 4	CARFEN	Carex pendula	2L	Full pot 0.5Ctr	30%	24	
	MARGINAL MIX 4	CORSA	Cornus sanguinea	3L	Bushy 0.5Ctr	40%	31	
	MARGINAL MIX 4	DESCEG	Deschampsia cespitosa 'Goldtau'	2L	Full pot 0.5Ctr	15%	12	

PROPOSED BULBS	MIX NAME	ABBR	SPECIES	COMMON NAME	HABIT	CENTRES [M]	MIX %	AREA	QTY [No.]
	BULB MIX A	CROGY	Crocus 'Golden Yellow'	Dutch Crocus	Bulb 10/m ²	16.6%	2.2074m ²		23
	BULB MIX A	CROJDA	Crocus 'Jeanne D' Arc'	Dutch Crocus	Bulb 10/m ²	16.6%	2.2074m ²		23
	BULB MIX A	CROQB	Crocus 'Queen of the Blues'	Dutch Crocus	Bulb 10/m ²	16.6%	2.234m ²		23
	BULB MIX A	NARCA	Narcissus 'Canaliculatus'	Dwarf Daffodil	Bulb 10/m ²	16.6%	2.234m ²		23
	BULB MIX A	NARFG	Narcissus 'February Gold'	Dwarf Daffodil	Bulb 10/m ²	16.6%	2.2074m ²		23
	BULB MIX A	NARJF	Narcissus 'Jet Fire'	Dwarf Daffodil	Bulb 10/m ²	16.6%	2.2074m ²		23
									Total: 13.2976m ²

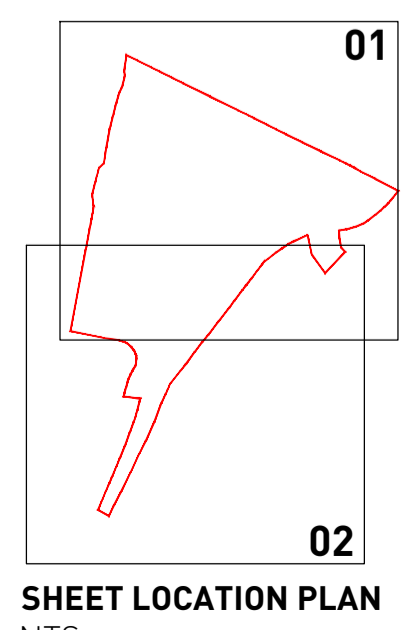
PROPOSED LAWN TURF (or similar approved)	MIX NAME	SEED MIX SUPPLIER	AREA	DENSITY
	MEDALLION	Rotolaw Limited	170.431m ²	

PROPOSED WILDFLOWER MEADOW (or similar approved)	MIX NAME	SEED MIX SUPPLIER	AREA	DENSITY
	EM3	Special Gen. Purpose Meadow	Emorsgate Seeds	111.5224m ² 4g/m ²

PROPOSED WETLAND WILDFLOWER MEADOW (or similar approved)	MIX NAME	SEED MIX SUPPLIER	AREA	DENSITY
	EM8	Meadow Mix for Wetlands	Emorsgate Seeds	64.8402m ² 4g/m ²

SEDUM ROOF SYSTEMS (671.602 m ²)	SEDUM BLANKET LIVING ROOF SYSTEM SUPPLIED BY Sky Garden or similar approved	Substrate to be minimum settled depth of 80m (or 60m beneath vegetation blanket)
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- NOTES**
- All trees, feature shrubs, climbers, shrubs and hedgerows to be planted in accordance with the implementation and maintenance guidelines. All landscape proposals must be referred by the Structural Engineer during foundation design. No tree, feature shrub, climber, shrub and hedgerow species, size or location should be altered without prior approval from the Landscape Architect.
- Individual shrub/climber/grass species to be planted in groups of 3-7.
 - Individual species within ornamental shrub mixes to be planted in groups of 5-7.
 - Lower growing species within ornamental shrub mixes to be planted at the front of the shrub bed (as indicated).
 - Individual bulb species to alternate every 2 linear metres.
 - Native hedgerow shrubs to be supplied as bare root stock unless stated.
 - Hedgerow shrubs to be planted within a 80cm wide bed and mulched.
 - Any native hedgerow shrubs to be planted on a double staggered row, 250mm apart with no less than 4 per linear metre within a 50m wide bed in accordance with implementation and maintenance guidelines. Any feathered stock is to have a upright central stem furnished with evenly spaced and balanced lateral growth the full length of the stem. If feathered hedgerow stock is proposed, shrubs are to be attached to a double line support line for feathered stock at 1m intervals one for balanced stock at 50cm high trace using an approved clip tie and cut back to 1.2m in height at time of planting.
 - Fined marginal plantings to be sourced from certified local provenance plant stock.
 - Sowing operations to be carried out in accordance with the implementation and maintenance guidelines.
 - All planting to be in accordance with the implementation and maintenance guidelines.
 - No species, variety, size or position to be amended without the Landscape Architects prior approval.
 - Before trees are planted, the Landscape Contractor shall ascertain the location of drains from the site manager, and shall if necessary make minor adjustments to tree positions to ensure that they are planted at least 1.5m from drains. They should however be planted no closer to houses/garages than is shown on the drawing, and if shown located in shrub beds, the shape of the latter should be adjusted if necessary to accommodate the revised tree position.
 - All planting must be mulched in accordance with the implementation and maintenance guidelines.
 - If planting is required outside the October-March season, bare root shrubs will be replaced by 3L pot grown plants, and trees will be replaced by a containerised equivalent to be approved by the project landscape architect.



SHEET LOCATION PLAN
NTS

B-11/02/2023 (M) Updated to design team comments.
A-10/07/2022 (M) Updated to the latest site layout and design team comments.
Revisions:
FOR PLANNING
Alexander Place, Lower Park Road, Southgate
Detailed Soft Landscape Proposals (sheet 2 of 2)
Drawing Ref: P21-2977_03-B
Client: Loft Land Holdings Ltd

Date : 21/06/2022
Drawn by : WM
Checked by : WM
Scale : 1 : 250 @ A1

